



Snowmobile Capital of the World ★ ATV/UTV Capital of Wisconsin ★ Hockey Capital of Wisconsin

## AGENDA NOTICE

THE PLANNING COMMISSION OF THE CITY OF EAGLE RIVER WILL HOLD A MEETING ON THURSDAY, MARCH 6, 2025, AT 5:00 P.M. AT CITY HALL, 525 E. MAPLE STREET IN EAGLE RIVER.

*Notice is hereby given that a majority of the City Council of the City of Eagle River may be attending scheduled Planning Commission meetings either in person or via zoom:*

*This constitutes a meeting of the City Council pursuant to State ex rel. Badke v. Greendale Village Bd., 173 Wis. 2d 553, 494 N.W.2d 409 (1993), and must be noticed as such, although the Council will not take any formal action at these meetings.*

This meeting will be available by Zoom at the following link:  
<https://us06web.zoom.us/j/85111695208?pwd=x5pMv8crrbsPuYwefObTYbJG0m83b3.1>

Meeting ID: 851 1169 5208

Passcode: 963936

- 1) Call to Order
- 2) Roll Call
- 3) Approve the agenda in any order
- 4) Approval of minutes.
- 5) Public Hearings, discussion and possible action on the following agenda item(s):
  - a) Public Hearing: Tammy Rabenberg and Kyle Schnieder are requesting annexation of property, consisting of 1.46 acres located at 4412 East Wall Street, from the Town of Lincoln into the City of Eagle River, Vilas County, Wisconsin. The parcel number is 14-1804. Legal Description: All that part of the NE 1/4 of the NW 1/4, Section 34, Township 40 North, Range 10 East, Town of Lincoln, Vilas County, Wisconsin, lying North of the centerline of Highway; which Highway is a continuation of Wall Street East, the Town of Lincoln, Vilas County, Wisconsin; EXCEPTING THEREFROM those parcels of land conveyed in the following: Volume 73 Deeds, page 520; Volume 78 Deeds, page 483; Volume 64 Deeds, page 574; Volume 115 Records, page 278; Volume 372 Micro Records, page 584; Volume 372 Micro Records, page 585; Volume 421 Micro Records, page 295 and Volume 433 Micro Records, page 678
  - b) Public Hearing: The City of Eagle River Planning Commission will hold a public hearing to seek input on a proposal by the Eagle River Pickleball Club to develop a 12 court pickleball complex, with permanent off street parking to the North in the old ice rink site. The proposed location for the project is the field behind City Hall at 525 E. Maple Street, Eagle River, identified as Parcel Number 221-463, legally described as: Sect. 28, T40N, R10E, LOTS 1-13 BLK 1 OF MCINTYRE ADDN & VAC PORTION OF SHERIDAN ST ADJ AT NORTH DESC 88-584A.
  - c) Premier Eagle River, LLC architectural plans to construct Phase 2 of a multi-family housing complex consisting of up to 48 units, on Parcel #221-1060-05, described as NW-NE, Sect. 34, T40N, R10E, PRT NW NE EXC 507081, 547546, 593411. Conditional Use Permit approved February 11, 2025.
  - d) Request from the Eagle River Revitalization Program to amend Farmers Market Shed placement approved in September 2024.
  - e) Approval to sell Parcel #221-457 on the west side of Bond Street at the T-Docks boat landing, zoned Single-Family Residential, and described as Sect. 28, T40N, R10E, PRT OUTLOT D LAKE PARK ADDN.
  - f) Working Draft amendment recommendation for Auxiliary Housing Units in Single Family residential zoning district, for public hearing in April 2025
  - g) Working Draft amendment recommendation for Visibility Triangle ordinance, for public hearing in April 2025.
- 6) Adjournment.

Robin Ginner, Zoning Administrator

Please note that, upon reasonable notice, at least 24 hours in advance, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services, or provide a video link for meetings. For additional information to request this service, please contact the City Clerk's Office at 715-479-8682 ext. 224, 525 E. Maple Street, P.O. Box 1269, Eagle River WI 54521.



February 6, 2025

A meeting of the Plan Commission of the City of Eagle River was called to order at 5:00pm by Mayor Jeff Hyslop.

Roll Call: Adam Grassl, John Hletko, Kim Schaffer, Mike Adamovich, Mary Horant and Deb Brown. Also in attendance; Robin Ginner, Becky Bolte

*Motion Grassl, 2<sup>nd</sup> by Hletko to approve the minutes of the 1/9/25 meeting. Carried, all.*

a) Public Hearing: Premier Eagle River, LLC is requesting a conditional use permit to build a multi-family housing complex consisting of up to 48 units, pursuant to Zoning Section 106-393 Uses permitted by conditional grant: (6) Multi-family housing in excess of two units on Parcel #221-1060-05, described as NW-NE, Sect. 34, T40N,R10E, PRT NW NE EXC 507081,547546,593411. The parcel is located at the northeast corner of US Highway 45/East Pine Street, Wall Street, and State Highway 70 East. Ginner presented this is the second phase of the development. The first phase is underway and consists of three apartment buildings of 12 units per building. The second phase is for four apartment buildings of 12 units per building. Representing Premier Eagle River LLC, Brandon Robaidek and Bob Murray were available via Zoom. Public Hearing opened at 5:10PM by Mayor Hyslop. Michael Navine, 328 White Pine, had submitted an email concern and was present at the hearing stating he was the representative for the White Pine Dr neighborhood. Navine concern was tenants trespassing on their private property to get to neighboring businesses. Murray/Robaidek responded that they will address it if it happens, would be open to a fence if the problem arose. Murray stated they do have a straight-line access to White Pine along utility path. The complex will have a near full time on-site managers to contact with any problems. Murray also stated they would not be putting in berm around property and intend to keep as many trees as possible. With no other comments, the Public Hearing was closed at 5:20PM. Discussion. Landscaping will be done with tree planting. *Motion by Grassl, 2<sup>nd</sup> by Horant to recommend to City Council the approval to Premier Eagle River, LLC for a conditional use permit for Phase II of the project to build a multi-family housing complex consisting of up to 48 units, pursuant to Zoning Section 106-393 Uses permitted by conditional grant: (6) Multi-family housing in excess of two units on Parcel #221-1060-05, described as NW-NE, Sect. 34, T40N,R10E, PRT NW NE EXC 507081,547546,593411. The parcel is located at the northeast corner of US Highway 45/East Pine Street, Wall Street, and State Highway 70 East, with the condition that Pine Haven Drive remain as the only named road that extends through the whole development. Carried on a roll call vote, all.*

b) Approval to sell Parcel #221.995 at the southeast corner of N. Indiana Street and E. Hospital Road. .82 acres, zoned Office Residential, and described as SE-NW, Sect. 28, T40N, R10E, PRT SE NW EXC 430-5. Ginner presented that this was brought up by Kyle Anderson Green Superintendent as the property is not being used and the golf course doesn't have use for it. Discussion on usage and property topography. *Motion by Horant, 2<sup>nd</sup> by Brown to recommend to City Council the approve selling parcel #221.995 at the southeast corner of N. Indiana Street and E. Hospital Road. .82 acres, zoned Office Residential, and described as SE-NW, Sect. 28, T40N, R10E, PRT SE NW EXC 430-5 with the recommendation that City Council that the purchaser must develop the property within twelve months. Carried on a roll call vote, all.*

c) Approval to sell Parcel #221-457 on the west side of Bond Street at the T-Docks boat landing, zoned Single-Family Residential, and described as Sect. 28, T40N,R10E, PRT OUTLOT D LAKE PARK ADDN. Discussion. *Motion by Hletko, 2<sup>nd</sup> by Horant to postpone discussion until after the Sheriff sale of 635 N Bond is complete, sale scheduled for 2/20/25. Carried, all.*

d) Working Draft amendment recommendation for Auxiliary Housing Units in Single Family residential zoning district, for public hearing in March 2025. Ginner presented the draft ordinance and

stated that this is being brought to the Commission to help address current housing/affordable housing shortages. Discussion on benefits, primary dwelling square footages, garage apartments, lot sizes, greenspace, and densification. Ginner provided a legal opinion on the draft ordinance from City Attorney Garbowicz and a booklet from League of WI Municipalities that addresses housing access and affordability. Ginner to bring back to the Planning Commission in March 2025 but without the public hearing at that time, allowing Commissioners to do some research.

e) Working Draft amendment recommendation for Visibility Triangle ordinance, for public hearing in March 2025. Ginner presented that this has come about due to visibility/safety complaints on Silver Lake Road. Discussion. Working draft will be brought back to Planning Commission in March 2025 but without the public hearing at that time.

f) Easement approval for Silver Lake Road, along east property line of Parcel #221-982, to allow for road construction project scheduled for Summer 2025. Ginner presented the easements are for property along Silver Lake Road on Jon Cooks property. MSA recommended getting easements due to ROW concerns of existing road not being entirely in the ROW for which the ROW was reserved. Ginner has spoken with Jon Cook and Trustees have been notified. *Motion by Hletko, 2<sup>nd</sup> by Horant to recommend City Council approval of ROW easement agreement and Temporary construction easement agreement for Silver Lake Road along NW corner of parcel as presented. Carried on a roll call vote, all.*

*Motion by Horant, 2<sup>nd</sup> by Hletko to adjourn at 6:30pm.*

Becky J Bolte – Clerk



CITY OF  
**EAGLE RIVER**  
*Wisconsin*

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**PETITION FOR DIRECT ANNEXATION BY UNANIMOUS APPROVAL  
PURSUANT TO SECTION 66.0217(2) WISCONSIN STATUTES**

We, the undersigned, constituting all of the electors and all of the owners of real property in the following territory of the town(s) of Lincoln, Vilas County, Wisconsin, lying contiguous to the City of Eagle River, Wisconsin, petition the Common Council of the City of Eagle River to annex the territory described below and shows on the attached scale map to the City of Eagle River, Vilas County, Wisconsin:

Property description and map attached.

The current population of such territory is: 1621.

We, the undersigned, elect that this annexation shall take effect to the full extent consistent with outstanding priorities of other annexation, incorporation or consolidation proceedings, if any.

| Signature of Petitioner   | Date of Signing | Owner *      | Elector * | Address or Description of Property                    |
|---------------------------|-----------------|--------------|-----------|---|
| 1. <u>Sammy Rosenberg</u> | <u>2/5/25</u>   | <u>owner</u> |           | <u>4412 E Wall St</u><br><u>Eagle River WI 54521</u>  |
| 2. <u>Kyle Schmucka</u>   | <u>2/5/25</u>   | <u>owner</u> |           | <u>4412 E Wall St</u><br><u>Eagle River, WI 54521</u> |

\* If elector, write "elector" in the appropriate box; if owner, write "owner" in the appropriate box.

**AFFIDAVIT OF CIRCULATOR**

I, Robin Ginner being duly sworn, state: I reside at 1742 River Bend Trl. Eagle River Wisconsin. I personally circulated the attached petition in the town of Lincoln, Vilas County, Wisconsin, commencing on the 5 day of Feb 2025 and terminating on the 25 day of February 2025 and personally obtained each signature on this petition. I know that each person who signed is an elector or owner of property located in the territory proposed for annexation and signed the petition with full knowledge of its content on the date indicated opposite his or her name. I know their respective residences given. I reside within the territory described above. I am aware that falsifying this affidavit is punishable under secs. 12.13(3)(a) and 946.32(1)(a) of the Wisconsin statutes.

Signature of Circulator: [Signature]

Subscribed and sworn to before me this 5 day of February 2025

Rebecca J Bolte Notary Public, County, Wisconsin. My commission expires 12-20-2026

REBECCA J BOLTE  
Notary Public  
State of Wisconsin

## EXHIBIT B

### Parcel One: Parcel ID: 221-1064-09

A parcel of land being a part of the NE 1/4 NW 1/4, Section 34, Township 40 North, Range 10 East, City of Eagle River, Vilas County, Wisconsin, and being more particularly described as follows:

Commencing at the North 1/4 corner of said Section 34 being marked by an iron pipe in the pavement of the Town Road; thence N 89° 08' 07" W 603.04 feet (North 87° 56' 12" West of record) along the North line of said Section 34, as previously used and established, to an iron pipe; thence North 89° 06' 34" West 487.30 feet (North 89° 07' 25" West of record) along said North Section line to an iron pipe; thence South 5° 06' 13" West 242.78 feet (South 5° 09' 00" West 242.90 feet of record) to an iron pipe; thence South 5° 32' 13" West 89.98 feet (South 5° 09' 00" West 90.00 feet of record) to an iron pipe and the PLACE OF BEGINNING; thence South 5° 10' 34" West 63.65 feet (South 5° 09' 00" West of record) to an iron pipe; thence North 0° 42' 08" East 63.49 feet to an iron pipe; thence South 88° 59' 05" East 4.97 feet back to the Place of Beginning.

This parcel is nonconforming and is to be added to the adjoining lands to the East.

### Parcel Two: Parcel ID: 14-1804

All that part of the NE 1/4 of the NW 1/4, Section 34, Township 40 North, Range 10 East, Town of Lincoln, Vilas County, Wisconsin, lying North of the centerline of Highway; which Highway is a continuation of Wall Street East, the Town of Lincoln, Vilas County, Wisconsin; EXCEPTING THEREFROM those parcels of land conveyed in the following: Volume 73 Deeds, page 520; Volume 78 Deeds, page 483; Volume 64 Deeds, page 574; Volume 115 Records, page 278; Volume 372 Micro Records, page 584; Volume 372 Micro Records, page 585; Volume 421 Micro Records, page 295 and Volume 433 Micro Records, page 678.

Property  
requesting  
Annexation

PLSS Quarter/Gov't Lot Line PLSS Section Line

## Parcel ID: 14-1804

Town of Lincoln

[View Additional Info \(ALRS\)](#)

### Site Address

4412 WALL STREET

### Owner / Mailing Info

RHINE RENNER

PO BOX 650

WATERTOWN, WI 53094

### Parcel Info

*Parcel Type:* Standard

*Section ID:* 5-4

*Size:* 1.46ac (GIS)

### ROD Documents

Search for Parcel ID 14-1804 in [LandShark](#).

*\*additional record info can be found in the Documents accordion of the [ALRS](#)*

### Zoning

All-Purpose

[View Permits](#) (APM)

### Surveys

*\*research more survey information using the online [survey index](#).*

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View in other maps:

[Address](#) | [Imagery](#) | [PLSS](#) | [Recreation](#) | [Voting](#) | [Zoning](#)

## Ordinance #XXX

### An Ordinance Annexing Territory To the City of Eagle River, Wisconsin

The Common Council of the City of Eagle River, Wisconsin, does hereby ordain as follows:

**SECTION 1. Territory Annexed.** In accordance with sec. 66.0217 (2) of the Wisconsin Statutes and the petition for direct annexation filed with the City Clerk on the 5<sup>th</sup> day of February, 2025, signed by all owners residing in the territory to be annexed, the following described territory, 4412 E. Wall Street, in the Town of Lincoln, Vilas County, Wisconsin, is annexed to the City of Eagle River, Wisconsin:

#### See attached “Exhibit A” Legal Descriptions And Map marked “Exhibit B”

**SECTION 2. Effect of Annexation.** From and after the date of this ordinance the territory described in section 1 shall be a part of the City of Eagle River for any and all purposes provided by law and all persons or residing within such territory shall be subject to all ordinances, rules and regulations governing the City of Eagle River.

**SECTION 3. Zoning Classification.** (a) Upon recommendation of the Plan Commission, the territory annexed to the City of Eagle River by this ordinance is zone as follows, pursuant to sec.

#### Highway Commercial

**SECTION 4. Ward Designation.** The territory described in section 1 of this ordinance is hereby made a part of Ward 2 of the City of Eagle River with a population of two (2).

**SECTION 5. Severability.** If any provision of this ordinance is invalid or unconstitutional, or if the application of this ordinance to any person or circumstances is invalid or unconstitutional, such invalidity or unconstitutionality shall not affect the other provisions or applications of this ordinance which can be given effect without the invalid or unconstitutional provision or application.

**SECTION 6. Effective Date.** This ordinance shall take effect upon passage and publication as provided by law.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2025

**City of Eagle River**

\_\_\_\_\_  
Jeffrey A. Hyslop, Mayor

\_\_\_\_\_  
Becky J. Bolte, Clerk

Adopted: \_\_\_\_\_

Published: \_\_\_\_\_

Effective: \_\_\_\_\_

Drafted by Robin Ginner, City Administrator



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Advertisement – Annexation

Publish once, week of February 24, 2025:

NOTICE OF PUBLIC HEARING  
CITY OF EAGLE RIVER PLANNING COMMISSION

Tammy Rabenberg and Kyle Schnieder are requesting annexation of property, consisting of 1.46 acres located at 4412 East Wall Street, from the Town of Lincoln into the City of Eagle River, Vilas County, Wisconsin. The parcel number is 14-1804. Legal Description: All that part of the NE 1/4 of the NW 1/4, Section 34, Township 40 North, Range 10 East, Town of Lincoln, Vilas County, Wisconsin, lying North of the centerline of Highway; which Highway is a continuation of Wall Street East, the Town of Lincoln, Vilas County, Wisconsin; EXCEPTING THEREFROM those parcels of land conveyed in the following: Volume 73 Deeds, page 520; Volume 78 Deeds, page 483; Volume 64 Deeds, page 574; Volume 115 Records, page 278; Volume 372 Micro Records, page 584; Volume 372 Micro Records, page 585; Volume 421 Micro Records, page 295 and Volume 433 Micro Records, page 678. **COMPLETE LEGAL IN TAX ROLL.**

The City of Eagle River Planning Commission will hold a public hearing regarding the proposal on March 6, 2025 at 5:00 p.m. located at the Eagle River City Hall 525 E. Maple Street Eagle River WI 54521. Comments can be made at the public hearing or by mail to City Administrator PO Box 1269 Eagle River WI 54521; by phone (715) 479-8682 x227 or email [rcginner@eagleriverwi.gov](mailto:rcginner@eagleriverwi.gov). Documents are available for review at City Hall.



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February 5, 2025

Dear Property Owner –

The City of Eagle River Planning Commission will hold a public hearing regarding the following proposal on March 6, 2025 at 5:00 p.m. located at the Eagle River City Hall 525 E. Maple Street Eagle River WI 54521. Documents will be available for review at City Hall. PETITIONERS, OR THEIR REPRESENTATIVES, SHALL BE PRESENT.

Tammy Rabenberg and Kyle Schnieder are requesting annexation of property, consisting of 1.46 acres located at 4412 East Wall Street, from the Town of Lincoln into the City of Eagle River, Vilas County, Wisconsin. The parcel number is 14-1804. Legal Description: All that part of the NE 1/4 of the NW 1/4, Section 34, Township 40 North, Range 10 East, Town of Lincoln, Vilas County, Wisconsin, lying North of the centerline of Highway; which Highway is a continuation of Wall Street East, the Town of Lincoln, Vilas County, Wisconsin; EXCEPTING THEREFROM those parcels of land conveyed in the following: Volume 73 Deeds, page 520; Volume 78 Deeds, page 483; Volume 64 Deeds, page 574; Volume 115 Records, page 278; Volume 372 Micro Records, page 584; Volume 372 Micro Records, page 585; Volume 421 Micro Records, page 295 and Volume 433 Micro Records, page 678. **COMPLETE LEGAL IN TAX ROLL.**

Comments can be made at the public hearing or by mail to City Administrator PO Box 1269 Eagle River WI 54521; by phone (715) 479-8682 x227 or email [rcginner@eagleriverwi.gov](mailto:rcginner@eagleriverwi.gov).

Sincerely,

A handwritten signature in black ink that reads "Robin Ginner". The signature is written in a cursive style.

Robin Ginner  
City Administrator  
City of Eagle River



MICHAEL T OTTO  
4411 WHITE PINE LOOP  
EAGLE RIVER, WI 54521

KUBACKI REAL ESTATE LLC  
4053 DEERSKIN RD  
EAGLE RIVER, WI 54521

WALL STREET VENTURES LLC  
1765 HURON ST  
THREE LAKES, WI 54562

RHINE A RENNER  
PO BOX 650  
WATERTOWN, WI 53094

RANDY SOLBERG  
3908 MOONBEAM CT  
PLANO, TX 75074

WALL STREET VENTURES LLC  
1765 HURON ST  
THREE LAKES, WI 54562

RHINE RENNER  
PO BOX 650  
WATERTOWN, WI 53094

TA SOLBERG CO INC  
PO BOX 50  
MINOCQUA, WI 54548

RHINE A RENNER  
PO BOX 650  
WATERTOWN, WI 53094

ST PETERS CHURCH  
EAGLE RIVER, WI 54521

JENNY MERTEN  
4461 WALL ST  
EAGLE RIVER, WI 54521

ST PETERS CONGREGATION  
EAGLE RIVER, WI 54521





NOTICE OF PUBLIC HEARING  
CITY OF EAGLE RIVER PLANNING COMMISSION  
(Posted 2/19/2025)

The City of Eagle River Planning Commission will hold a public hearing to seek input on a proposal by the Eagle River Pickleball Club to develop a 12 court pickleball complex, with permanent off street parking to the North in the old ice rink site. The proposed location for the project is the field behind City Hall at 525 E. Maple Street, Eagle River, identified as Parcel Number 221-463, legally described as: Sect. 28, T40N, R10E, LOTS 1-13 BLK 1 OF MCINTYRE ADDN & VAC PORTION OF SHERIDAN ST ADJ AT NORTH DESC 88-584A.

Additional infrastructure plans may be added to include future basketball and volleyball courts, corn hole lanes, pavilion, and designated parking areas within the field.

The public hearing will be held March 6, 2025, at 5 pm at City Hall, 525 E. Maple Street, Eagle River. Residents, business owners, and other stakeholders are encouraged to attend and provide feedback on the proposal.

#### **Pros and Cons of the Proposed Pickleball Complex**

The proposed pickleball complex offers several potential benefits to the community, including increased recreational opportunities for residents of all ages, potential economic benefits through increased tourism and local business activity, and the promotion of an active lifestyle. The courts could serve as a gathering space for community members and provide opportunities for tournaments and events.

However, the location in a single-family residential neighborhood raises concerns. Potential drawbacks include increased traffic and parking congestion, noise from frequent gameplay, and potential disruption to the quiet character of the neighborhood. Additionally, increased foot traffic and extended hours of use could impact nearby residents' privacy and quality of life. The field currently houses an existing playground that may be impacted, and it is also the location of snow storage for winter snow removal. The loss of this snow storage site may increase the response time for public works to clear the City after snowfall, effectively increasing the cost to taxpayers for winter snow removal. Furthermore, the development may limit access to City Hall parking, creating potential inconvenience for visitors and staff.

Proposed plans are available on the City website at <https://eagleriverwi.gov/city-government/current-year-meeting-agendas-minutes/> under the heading "2025 Public Hearing Notices", or can be viewed at City Hall during regular business hours.

The Planning Commission invites public comments to weigh these factors and determine the best course of action for the community. Comments can be made during the public hearing, or by mail to the City Administrator, PO. Box 1269, Eagle River, WI 54521; by phone (715) 479-8682 x227 or email [rcginner@eagleriverwi.gov](mailto:rcginner@eagleriverwi.gov).



# Eagle River Pickleball Association



Ad-hoc Committee On New Courts

## Existing Courts Versus New Courts: Existing

- We are outgrowing the old courts – approximately 300 members and growing! Wait times during Open Play can be up to 25 minutes.
- Fences on the existing courts are only 7' from base lines – dangerous.
- Parking and traffic issues: The vehicle parking west of the courts is too close to the playground – unsafe. The alley is also used by pedestrians to access the playground and the park, oftentimes as cars are backing out creating unsafe conditions. One way traffic going wrong way - several close calls and complaints).
- Overhanging tree and root issues (much pine needle/leaf debris, sap, and bird droppings on courts from above.
- Overhead power lines above the south courts interfere with player lobs.
- The area behind the base lines of the north courts slopes too steeply toward the fence – feels like you're playing in a hole.
- The base beneath the courts is unstable causing cracks and repeated future maintenance issues.
- Competition with events at Riverview Park.



## Existing Courts Versus New Courts: New

- The proposed new courts will conform to USA Pickleball Association (USAPA) standards, the governing body of pickleball in the United States. The courts can be sanctioned by the USAPA for official pickleball tournaments and events.
- The additional space between the base lines and the fences of the proposed new courts (as compared to the existing courts) will provide a much safer and more enjoyable experience for players. Fences installed between the courts will also help prevent balls from rolling on to adjacent courts, increasing safety and enjoyment for the players.
- The added number of courts (twelve vs. six) will accommodate our future membership needs and the growing popularity of the sport.
- The new site provides adequate space for safer parking and traffic conditions for vehicles and pedestrians.
- Generous shade and seating accommodations are planned for the 12-16' wide viewing area between the courts.
- No power lines or overhanging trees to deal with means reduced court maintenance.
- Additional outdoor activities/games can be added to the site by the city at a later date, benefitting the entire community.
- The centralized location will bring more people to downtown businesses, increasing the revenue stream for the city.
- The site of the existing pickleball courts could be repurposed to expand the playground, add basketball courts, etc.

# Eagle River Community Park





















**PROPOSED 12 UNIT APARTMENT BUILDING FOR:  
NICOLET LUMBER CO.  
EAGLE RIVER , WISCONSIN**

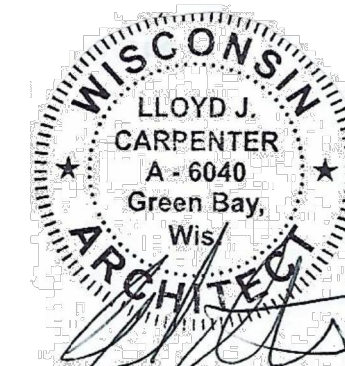
| SHEET INDEX   |                             |   | STATE APPROVAL<br>CONSTRUCTION SET 19-22 |
|---------------|-----------------------------|---|--|
| SHEET NUMBER  | SHEET DESCRIPTION           |   |  |
| G100          | COVER SHEET & PROJECT NOTES | X |  |
| CIVIL         |                             |   |  |
| 3             | SITE PLAN                   | X |  |
| ARCHITECTURAL |                             |   |  |
| A100          | FIRST FLOOR PLAN & NOTES    | X |  |
| A110          | SECOND FLOOR PLAN & NOTES   | X |  |
| A120          | ROOF PLAN & WALL TYPES      | X |  |
| A200          | ENLARGED FIRST FLOOR PLAN   | X |  |
| A210          | ENLARGED FIRST FLOOR PLAN   | X |  |
| A220          | ENLARGED SECOND FLOOR PLAN  | X |  |
| A230          | ENLARGED SECOND FLOOR PLAN  | X |  |
| A300          | BUILDING ELEVATIONS & NOTES | X |  |
| A400          | CROSS SECTION & NOTES       | X |  |
| A410          | BUILDING SECTIONS & NOTES   | X |  |
| A420          | BUILDING SECTIONS & NOTES   | X |  |
| A430          | BUILDING SECTIONS & NOTES   | X |  |
| A500          | INTERIOR ELEVATIONS & NOTES | X |  |
| A700          | A.D.A. NOTES & DETAILS      | X |  |
| A702          | A.D.A. NOTES & DETAILS      | X |  |
| STRUCTURAL    |                             |   |  |
| S1.0          | FOUNDATION PLAN             | X |  |
| S1.1          | SECOND FLOOR FRAMING PLAN   | X |  |
| S1.2          | ROOF FRAMING PLAN           | X |  |
| S6.0          | STRUCTURAL DETAILS          | X |  |
| S6.1          | STRUCTURAL DETAILS          | X |  |

**PLAN CONDITIONALLY APPROVED**

**No Variation of this Plan is Permitted without the Approval of E-Plan Exam and the Municipal Building Inspection Department. See Plan Review Letter and/or Permit for additional conditions that must be addressed during construction prior to inspection.**

Review Type: Building & Structure Review Only

Approved By: John J. Cunningham Date: 09/15/2022



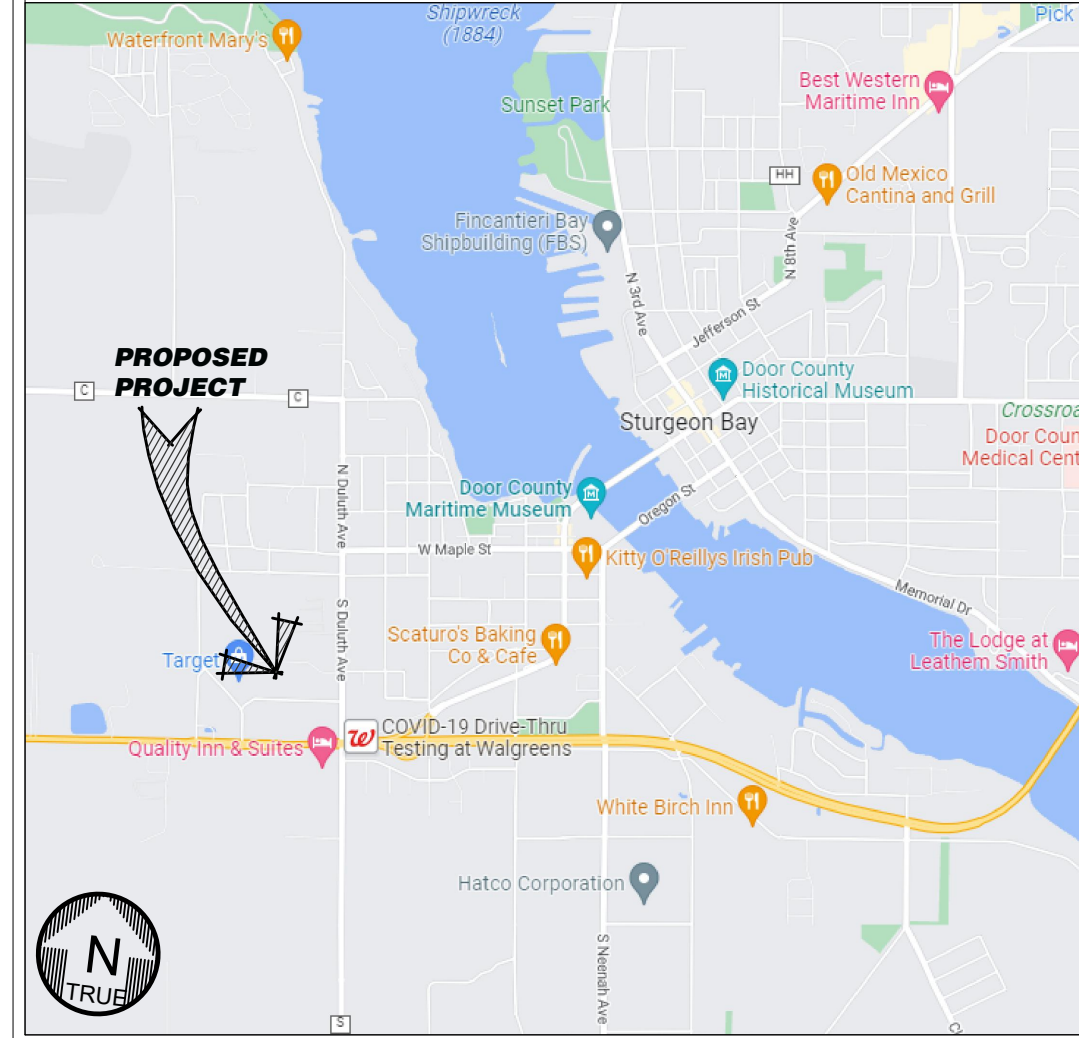
## GENERAL PROJECT NOTES

- 1) THE ARCHITECT/ENGINEERS MAINTAINS NO RESPONSIBILITY FOR THE GENERAL CONTRACTOR, SUBCONTRACTORS, OR THOSE WORKING IN SUCH CAPACITIES, FOR THE METHODS USED, OR LACK THEREOF, IN THE EXECUTION OF THE WORK AND SAFETY PROCEDURES AND PRECAUTIONS TAKEN AT THE PROJECT SITE.
- 2) SUBCONTRACTORS SHALL ASSUME FULL RESPONSIBILITY - UNRELIEVED BY REVIEW OF SHOP DRAWINGS NOR BY SUPERVISION OR PERIODIC OBSERVATION OF CONSTRUCTION FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS - FOR DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS, FOR FABRICATION, PROCESSES AND CONSTRUCTION TECHNIQUES (INCLUDING EXCAVATION, SHORING, SCAFFOLDING, BRACING, ERECTION, FORM WORK, ETC.); FOR COORDINATION OF THE VARIOUS TRADES, FOR SAFE CONDITIONS ON THE JOB SITE AND FOR THE PROTECTION OF THE PEOPLE AND PROPERTY AT THE JOB SITE.
- 3) VARIATIONS IN FIELD CONDITIONS RELATIVE TO THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE ENGINEER, WORK SHALL NOT PROGRESS UNTIL WRITTEN PERMISSION FROM THE ENGINEER IS OBTAINED.
- 4) THE INFORMATION CONTAINED ON THE DRAWINGS IS IN ITSELF COMPLETE, AND VOID, UNLESS USED IN CONJUNCTION WITH ALL THE SPECIFICATIONS, TRADE PRACTICES, OR APPLICABLE STANDARDS, CODES, ETC., INCORPORATED THEREIN BY REFERENCE, OF WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE BY SIGNED THE CONTRACT.
- 5) ARCHITECT/ENGINEER'S REVIEW OF DRAWINGS PREPARED BY THE CONTRACTORS, SUPPLIERS, ETC. ARE ONLY FOR THE CONFORMANCE WITH THE DESIGN CONCEPT. CONSTRUCTION SHALL NOT START WITHOUT SAID REVIEW, AND ONLY SHOP DRAWINGS STAMPED BY THE ARCHITECT/ENGINEER WILL BE ALLOWED AT THE JOB SITE.
- 6) DRAWINGS ARE NOT TO BE USED FOR SHOP DETAILING OF FOR CONSTRUCTION UNLESS SPECIFICALLY STAMPED BY THE ARCHITECT/ENGINEER ON THE DRAWINGS "FOR DETAILING" OR "FOR CONSTRUCTION". THESE DRAWINGS ARE NOT TO BE REPRODUCED FOR THE PURPOSE OF USING THEM AGAIN AS SHOP DRAWINGS.
- 7) UNLESS NOTED OTHERWISE, ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE BY TYPICAL FOR SIMILAR SITUATIONS ELSEWHERE.
- 8) ALL DIMENSIONS ON STRUCTURAL DRAWINGS ARE TO BE CHECKED BY THE SUBCONTRACTOR AGAINST ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE CONFIRMING AND CORRELATING OF ALL DIMENSIONS ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS AND TRADES.
- 9) SEE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL OPENINGS, SLEEVES, EQUIPMENT PADS, DEPRESSIONS, CURBS, FLOOR FINISHES, INSERTS, AND OTHER EMBEDDED ITEMS.
- 10) UNLESS OTHERWISE SHOWN OR NOTED, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND THE PLACEMENT OF ANY INSERTS, HANGERS, PIPE SLEEVES, HOLES, OR ANCHOR BOLTS THAT ARE REQUIRED BY THE MECHANICAL OR ELECTRICAL EQUIPMENT.
- 11) THE SUBCONTRACTOR SHALL COMPLY WITH THE LATEST OCCUPATIONAL SAFETY AND HEALTH ACT REQUIREMENTS.
- 12) ALL CONSTRUCTION SHALL BE PERFORMED IN STRICT CONFORMANCES WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES.

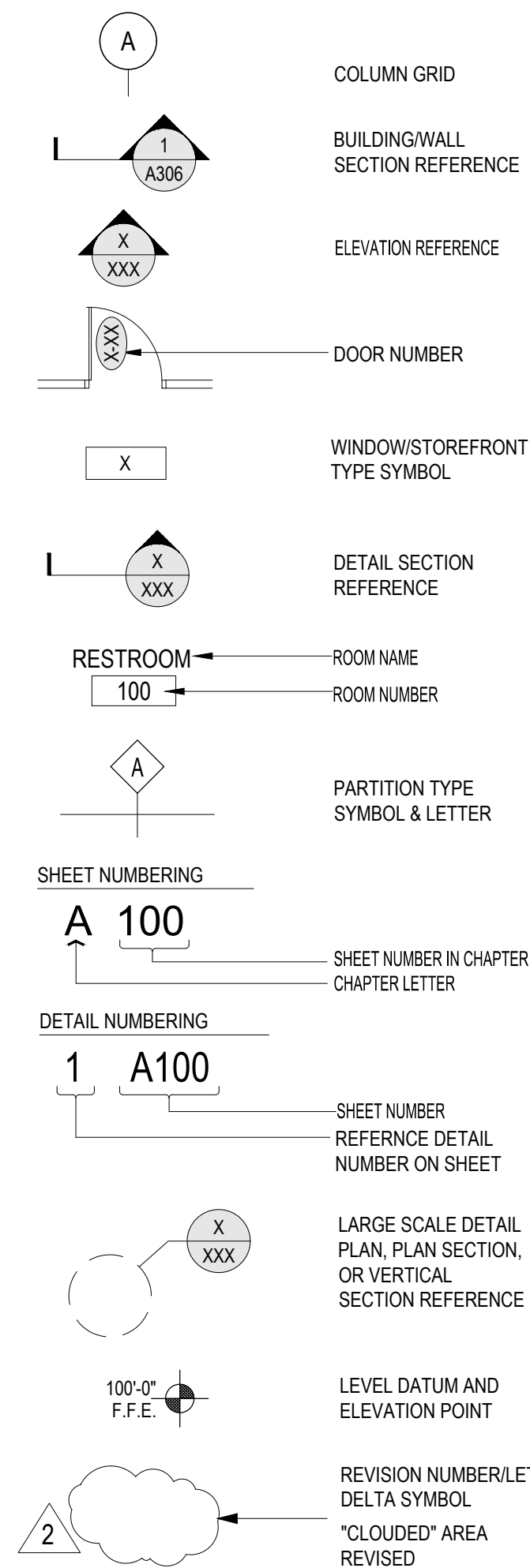
## BUILDING CODE ANALYSIS

[illegible]

## VICINITY MAP



### GRAPHIC LEGEND



## CONTACT LIST

**OWNER**

---

PREMIER WATERFORD, LLC  
3120 GATEWAY ROAD  
BROOKFIELD, WI  
PHONE: 262-790-4560  
FAX:  
CONTACT: CHRISTOPHER SLATER

**PROJECT ARCHITECT**

---

LLOYD CARPENTER-ARCHITECT  
2665 MAPLE HILLS DRIVE  
GREEN BAY, WISCONSIN 54303  
PHONE: 920-655-3829  
FAX:  
CONTACT: LLOYD CARPENTER

**STRUCTURAL**

---

EFJ ASSOCIATES  
1222 ANGLE AVENUE  
GREEN BAY, WISCONSIN  
PHONE: 920-632-7685  
FAX:  
CONTACT: JEFF REEP

## CIVIL ENGINEER

ROBERT E. LEE & ASSOCIATES  
1250 CENTENNIAL CENTRE BLVD  
HOBBART, W.I. 54155  
PHONE: 920-662-9641  
FAX:  
CONTACT:

GENERAL CONTRACTOR

NICOLET LUMBER CO.  
 4050 NICOLET DRIVE  
 GREEN BAY, WI.  
 PHONE: 920-866-2629  
 FAX: -  
 CONTACT: DENNIS HERMAN

LLOYD CARPENTER  
ARCHITECT

ARCHITECTURAL SERVICES  
2663 Maple Hills Drive  
Green Bay, Wisconsin 54313  
920.655.3829  
carp.arch@gmail.com

## REVISION/ISSUE

[illegible]

PROPOSED 12 UNIT APARTMENT BUILDING FOR:  
**NICOLET LUMBER CO.**  
EAGLE RIVER, WISCONSIN

PROJECT:

DESIGNED BY: LCA

APPROVED BY: LCA

DATE: 9-8-22

SCALE: AS SHOWN

JOB NUMBER

**TITLE**

COVER SHEET

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.

CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THIS OFFICE MAY BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

# G100



Approved By: John J. Cunningham Date: 09/15/2022

2663 Maple Hills Drive  
Green Bay, Wisconsin 54313  
920.655.3829  
carp.arch@gmail.com

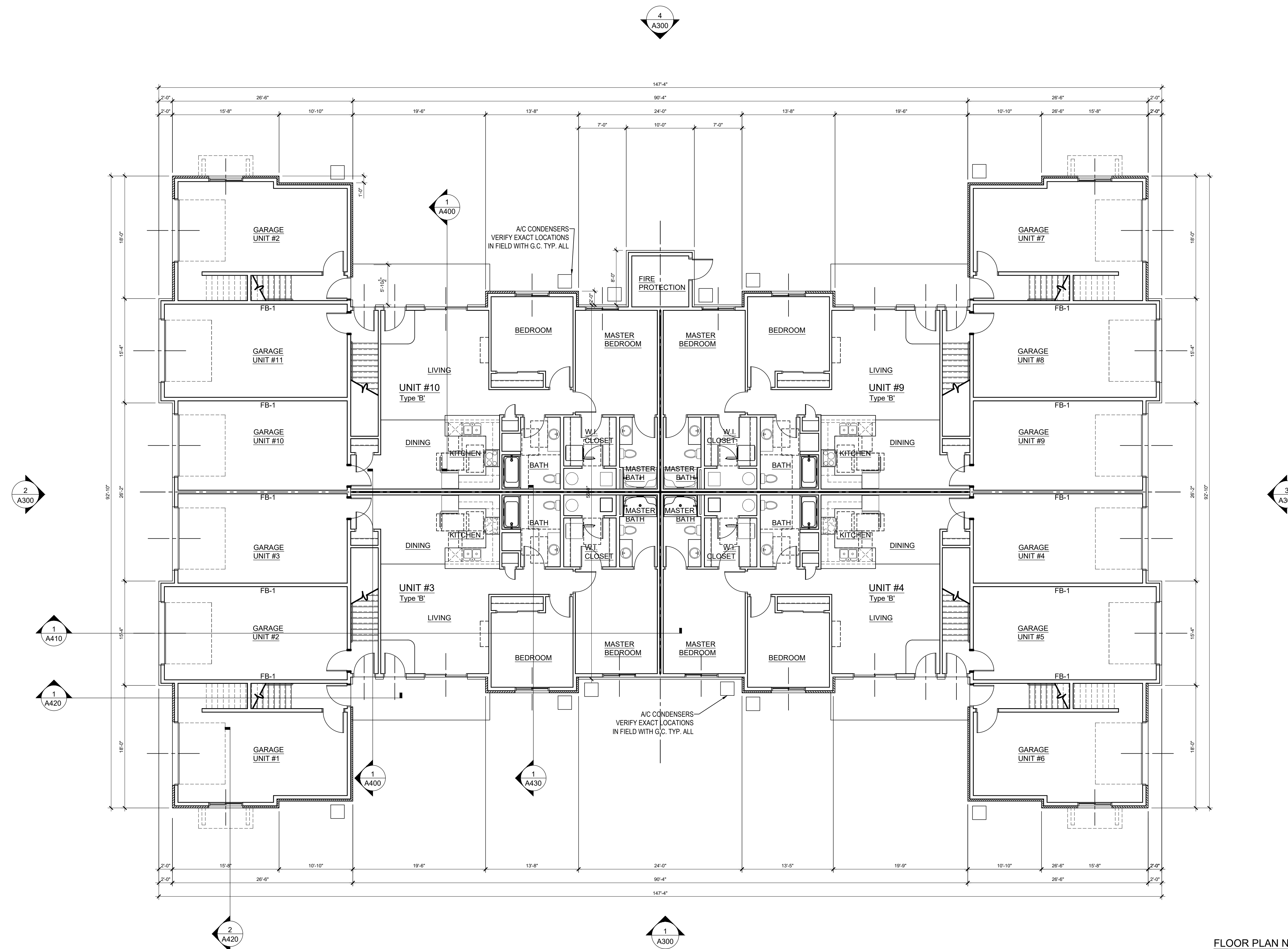
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PROJECT:

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.

CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THIS OFFICE MAY BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

# A100



SCALE: 1/8" = 1'-0"

1. BUILDING SHALL BE SPRINKLERED PER NFPA31R.  
SEE A120 FOR WALL TYPES.
2. SEE A120 FOR BATH TUB AT UNIT WALL DETAIL.
3. STUDS, JOISTS, ALL HANGING JOIST BRACKETS SHALL BE 2X10 LVL OR 2X12 LVL. ALL  
ANY DIRECTION BRACKETS SHALL BE 32° C° OF STEEL. PROVIDE BLOCKING AS  
REQUIRED.
4. LOCATE ATTIC ACCESS ON SECOND FLOOR AS INDICATED. ATTIC ACCESS  
HATCH SHALL BE 1 HR FIRE RATED, 17 LBELED ASSEMBLY.
5. ALL SECOND FLOOR WATER HEATERS AND WASHERS SHALL BE PROVIDED  
WITH AN OVERFLOW PAN WITH DRAIN TO PREVENT DISCHARGE WATER FROM  
ENTERING UNIT.
6. PLUMBER TO INSTALL 1" FIRECODE QTY BD. ON BOTTOM OF FLOOR  
SHEATHING BELOW ANY HOLE CUT OUT AT TUB OR SHOWER BEFORE RUNNING  
DRAIN THRU FLOOR. FIRECAULK OPENING.
7. ALL LUMBER USED IN THE CONSTRUCTION OF SECOND FLOOR DECKS SHALL  
BE 2X10 OR 2X12 LVL. ALL DECAY RESISTANT 17 LBELED PAINTING AND BACKERS  
MATERIALS WITH OWNER. RAILINGS TO WITHSTAND 200 LBS LOAD APPLIED IN  
DIRECTION. BALLUSTERS DESIGNED TO PREVENT PASSAGE OF OBJECT 4" IN  
DIAMETER.
8. SECOND FLOOR AT TUB OR SHOWER. ASSURE 1 HOUR RATING AT WALLS AND  
DECK DETAIL BY INSTALLING FIRE RATED QTY BD. AT WALLS OR PLYWOOD  
SHEATHING PER UL L550.
9. PENETRATING THROUGH FLOOR, ELECTRIC BOXES, CONDUITS, DUCTS OR OTHER  
PENETRATING ITEMS USING A FIRE-PROTECTIVE MEMBRANE (EITHER QTY  
BD OR SHEATHING) SHALL BE MORE THAN 1/2" IF MORE THAN 1/2" ; SEAL ALL  
OPENINGS WITH A FIRE-STOP PRODUCT OR DEVICE THAT IS TESTED AND  
LISTED BY AN APPROVED TESTING LAB UNDER ASTM E814. ELECTRICAL BOXES  
MUST BE CLASSIFIED FOR FIRE RESISTANCE ON METALLIC OUTLET BOXES  
THAT ARE LISTED BY AN APPROVED TESTING LABORATORY. BOXES MUST NOT  
BE MORE THAN 16 SQ. IN. DO NOT INSTALL ON OPPOSITE SIDES OF WALL.  
BOXES OF 16 SQ. IN. OR MORE SHALL BE INSTALLED ON BOTH SIDES, TOTAL  
AGGREGATE OF ALL SUCH OPENINGS SHALL NOT EXCEED 100 SQ. IN.

11. INSULATION CONTRACTOR SHALL SUPPLY A SIGNED AND DATED CERTIFICATION FOR THE INSULATION INSTALLED IN EACH ELEMENT, LISTING THE TYPES INSULATION INSTALLATIONS IN ROOF/CEILINGS, THE MANUFACTURER AND THE R-VALUE. FOR BLOWN INSULATION, THE INSTALLER SHALL ALSO PROVIDE THE INITIAL INSTALLED THICKNESS, THE SETTLED THICKNESS, THE COVERAGE AREA, AND THE NUMBER OF BAGS INSTALLED. POST THE FINAL CERTIFICATE ON SITE.

1. VERIFY ALL LOCAL AND STATE REQUIREMENTS
2. EACH LIVING UNIT SHALL HAVE A FIRE ALARM STATION LOCATED AT THE EXIT OF THE UNIT ON FIRST FLOOR AND AT THE TOP OF THE STAIRS AT SECOND FLOOR UNITS AND A HORN LOCATED IN HALL BY BEDROOMS.
3. ALL SMOKE DETECTORS SHALL BE DIRECTLY AND PERMANENTLY WIRED TO A PROPER UNSWITCHED CIRCUIT AND BE PROVIDED WITH A BACKUP POWER SOURCE.
4. ALL SMOKE DETECTORS SHALL BE LOCATED IN HALL 6' BEDROOM DOOR AND IN EACH BEDROOM.
5. SMOKE DETECTORS SHALL BE LOCATED IN THE UTILITY ROOM AND SHALL BE WIRED TO AN UNSWITCHED CIRCUIT W/ EMERGENCY POWER BACKUP.
6. (SD) SMOKE ALARM
  - (F) FIRE ALARM HORN
7. (F) FIRE ALARM FULL STATION
8. (SD) COMBINATION SMOKE & CARBON MONOXIDE DETECTOR.

1. ELECTRICAL DESIGNER / CONTRACTOR SHALL PROVIDE HIGH EFFICIENCY LAMPS IN A MINIMUM OF 50% OF THE FIXTURES PER IECC 404.1.

Approved By: John J. Cunningham Date: 09/15/2022

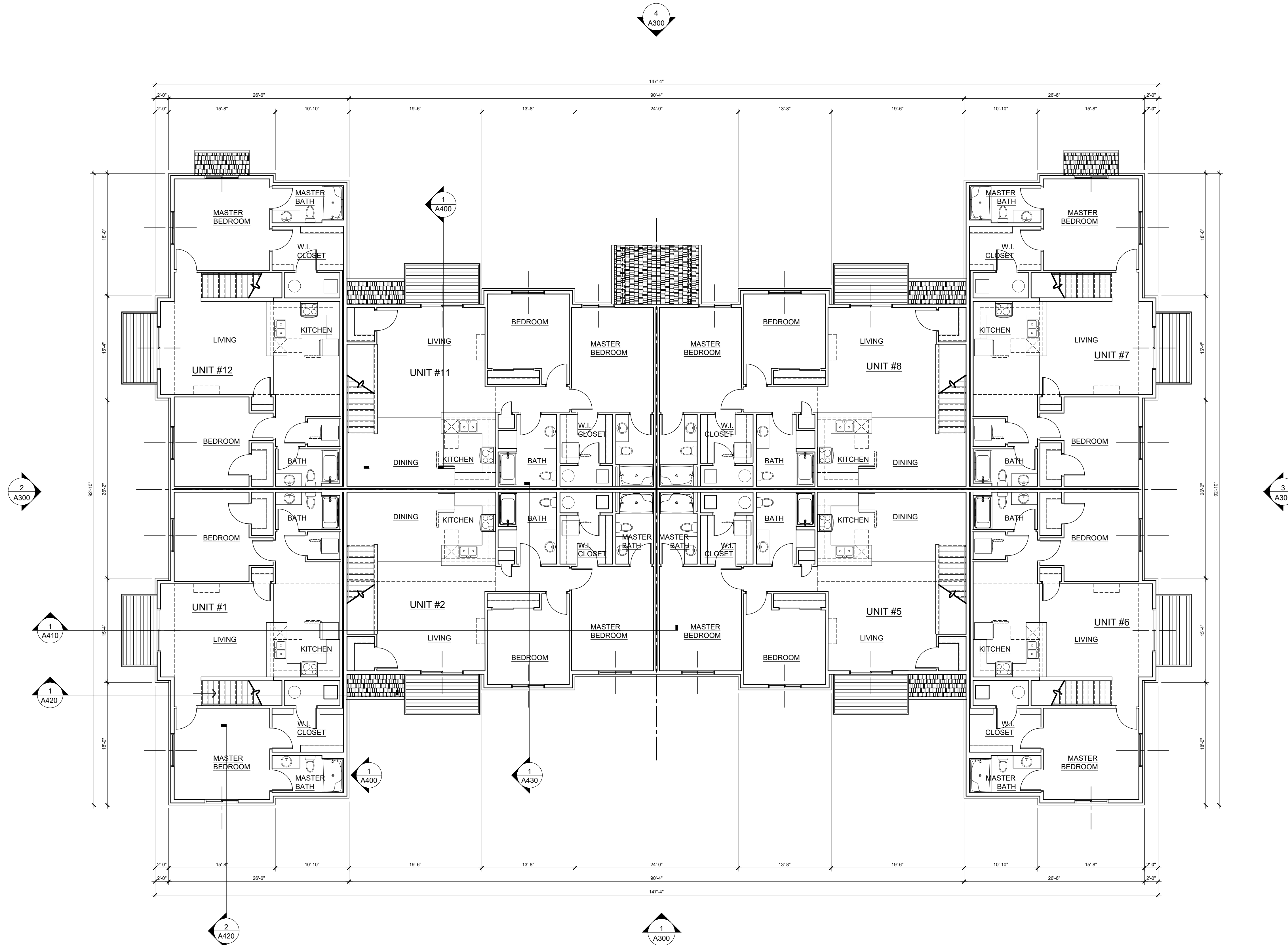
2663 Maple Hills Drive  
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920.655.3829  
carp.arch@gmail.com

[illegible]

JOB NUMBER

ATTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

A110



## 1 OVERALL SECOND FLOOR PLAN

A110



## DOOR SCHEDULE

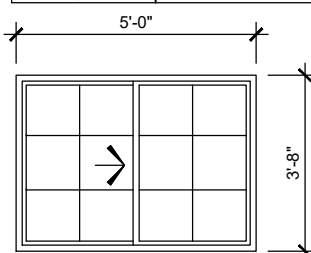
| MARK                  | TYPE | DESCRIPTION  | HARDWARE   |
|-----------------------|------|--|--|
| (A)<br>EXTERIOR ENTRY | 1    | 3'-0" X 6'-8" INSULATED 6 PANEL DOOR. 20 MINUTE LABEL.   | ADA APPROVED HARDWARE. 3 SELF CLOSING HINGES, DEADBOLT, LEVER HANDLE, VIEWER, UNIT NUMBER. |
| (B)<br>GARAGE ENTRY   | 4    | 3'-0" X 6'-8" INSULATED 6 PANEL DOOR. 20 MINUTE LABEL.   | ADA APPROVED HARDWARE. 3 SELF CLOSING HINGES, DEADBOLT, LEVER HANDLE.                      |
| (C)<br>INTERIOR       | 2    | 3'-0" X 6'-8" LEGACY HOLLOW CORE W/ WOOD FRAME   | VERIFY W/ OWNER.   |
| (D)<br>INTERIOR       | 3    | 2'-6" X 6'-8" LEGACY HOLLOW CORE W/ WOOD FRAME   | VERIFY W/ OWNER.   |
| (E)<br>INTERIOR       | 2    | 1'-6" X 6'-8" LEGACY HOLLOW CORE W/ WOOD FRAME   | VERIFY W/ OWNER.   |
| (F)<br>INTERIOR       | 3    | 6'-0" X 6'-8" 2 PANEL SLIDE BY HOLLOW CORE W/ WOOD FRAME.  | VERIFY W/ OWNER.   |
| (G)<br>EXTERIOR       | 5    | 6'-5 1/2" X 6'-8" "QUAKER" PATIO DOOR W/ LOW 'E' TEMPERED GLAZING. 2 GRILLES. ADA COMPLIANT. VERIFY WIDTH. | VERIFY W/ OWNER.   |
| (H)<br>GARAGE         | 6    | 9'-0" X 7'-0" RAISED PANEL INSULATED OVERHEAD DOOR.  | 1/2" H.P. OPENER W/ 3 FUNCTION WALL CONTROL, ONE CAR REMOTE, AND KEYLESS ENTRY PAD.        |

## ROOM SCHEDULE

| NAME           | WALL                      | BASE | FLOOR         | CEILING                   |
|----------------|---------------------------|------|---------------|---------------------------|
| FOYER          | TEXTURED PAINT ON DRYWALL | WOOD | WOOD LAMINATE | TEXTURED PAINT ON DRYWALL |
| LIVING         | TEXTURED PAINT ON DRYWALL | WOOD | CARPET        | TEXTURED PAINT ON DRYWALL |
| KITCHEN        | TEXTURED PAINT ON DRYWALL | WOOD | VINYL         | TEXTURED PAINT ON DRYWALL |
| DINETTE        | TEXTURED PAINT ON DRYWALL | WOOD | CARPET        | TEXTURED PAINT ON DRYWALL |
| HALL           | TEXTURED PAINT ON DRYWALL | WOOD | CARPET        | TEXTURED PAINT ON DRYWALL |
| BEDROOM        | TEXTURED PAINT ON DRYWALL | WOOD | CARPET        | TEXTURED PAINT ON DRYWALL |
| BATH           | TEXTURED PAINT ON DRYWALL | WOOD | VINYL         | TEXTURED PAINT ON DRYWALL |
| MASTER BEDROOM | TEXTURED PAINT ON DRYWALL | WOOD | CARPET        | TEXTURED PAINT ON DRYWALL |
| MASTER BATH    | TEXTURED PAINT ON DRYWALL | WOOD | VINYL         | TEXTURED PAINT ON DRYWALL |
| LAUNDRY        | TEXTURED PAINT ON DRYWALL | WOOD | VINYL         | TEXTURED PAINT ON DRYWALL |
| CLOSET         | TEXTURED PAINT ON DRYWALL | WOOD | CARPET        | TEXTURED PAINT ON DRYWALL |
| HVAC           | TEXTURED PAINT ON DRYWALL | NONE | NONE          | TEXTURED PAINT ON DRYWALL |
|                |                           |      |               |                           |
|                |                           |      |               |                           |

## WINDOW SCHEDULE

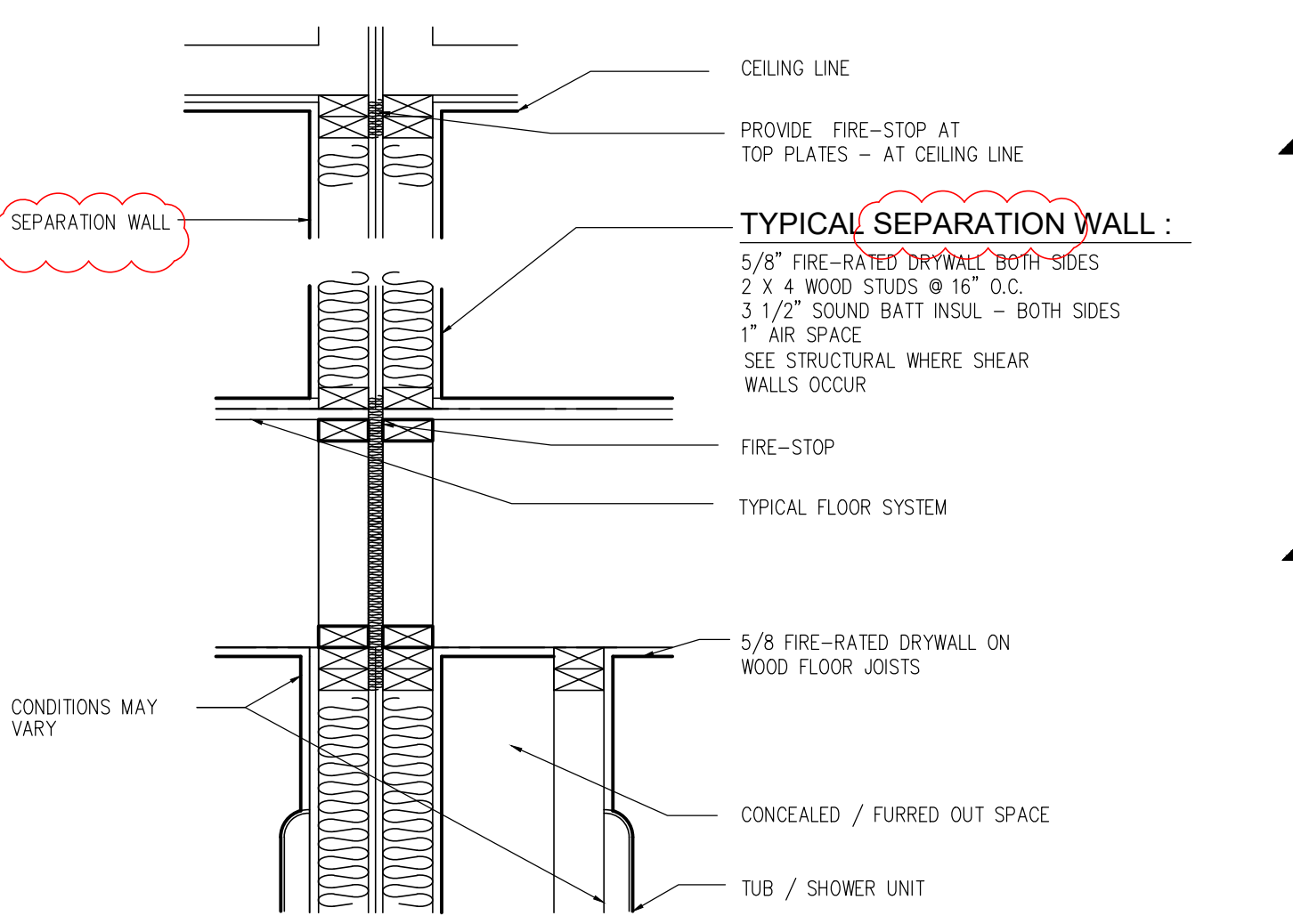
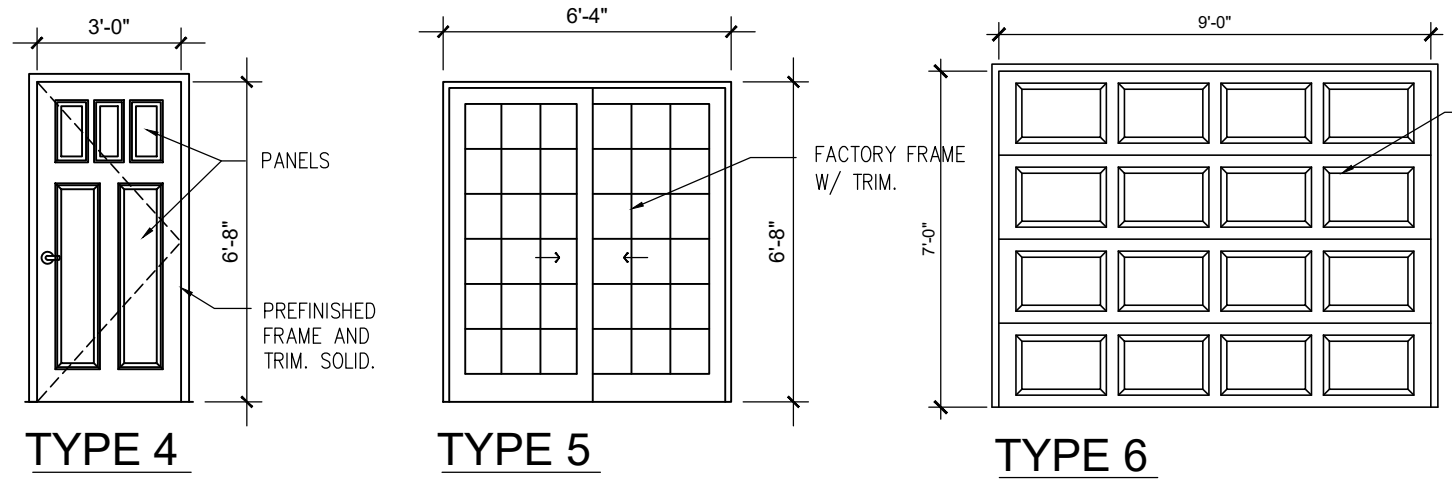
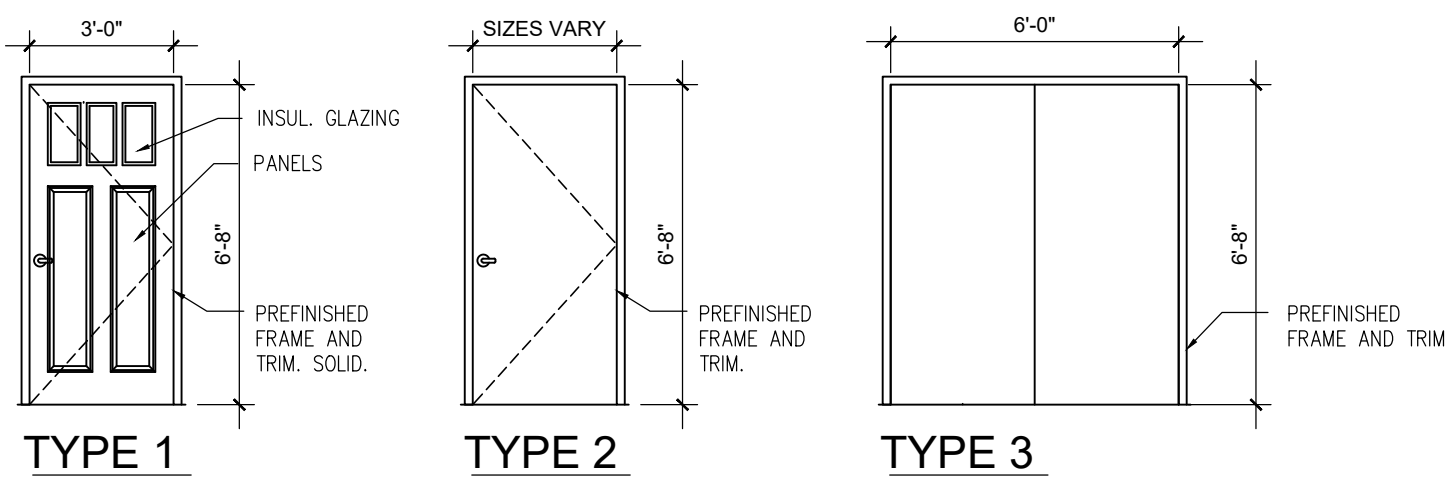
| MARK | UNIT (S)    | ROUGH OPENING            | GLAZING            | REMARKS                               | U-VALUE | REMARKS |
|------|-------------|--------------------------|--------------------|---------------------------------------|---------|---------|
| 1    | SLIDER 5038 | 60 3/4" x 44 1/2" VERIFY | LOW 'E' INSUL. GL. | UPPER SASH GRILLES & SCREENS REQUIRED | 0.25    | 0.21    |



TYPE 1

- WINDOW AND SLIDING DOOR NOTES:**
- WINDOW AND PATIO DOOR SIZES ARE BASED ON UNIT MANUFACTURED BY "QUAKER - MANCHESTER SERIES". LOW 'E' INSULATING GLASS. PROVIDE GRILLE PATTERN AS SHOWN. ALL WINDOWS AND DOORS COMPLY WITH EGRESS REQUIREMENTS AND ACCESSIBILITY CLEAR OPENING SIZE.
  - COLOR SHALL BE SELECTED FROM MANUFACTURES STANDARD INDEX AND SHALL BE VERIFIED WITH OWNER.
  - WINDOW DATA BASED ON QUAKER WINDOWS. ANY SUBSTITUTIONS SHALL BE VERIFIED WITH ARCHITECT AND COMPLY WITH IBC CHAPTER 12.
  - \* DENOTES CLEAR OPENING FOR (1) SLIDING PORTION OF WINDOW UNIT IN OPENED POSITION.
  - \*\* DENOTES CLEAR OPENING FOR BOTH SLIDING AND STATIONARY PANEL IN EITHER WINDOW OR DOOR.
  - WINDOWS SHALL BE COMPLIANT WITH ONE OF THE PROTECTION METHODS PER IBC 1015.8. IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LESS THAN 36" ABOVE THE FINISH FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE.

- 1 HR FIRE RATED ATTIC ACCESS HATCHES:**
- ALL HATCHES IN 1 HR RATED CEILING ASSEMBLIES SHALL BE "BEST ACCESS DOORS" OR EQUAL
  - 22" X 36" - 2 LOCKS
  - RATED FOR 1 HOUR IN COMBUSTIBLE CONSTRUCTION.
  - VERIFY ALL DETAILS WITH OWNER PRIOR TO CONST.
  - TESTED PER ASTM E119 AND CAN/ULC S101

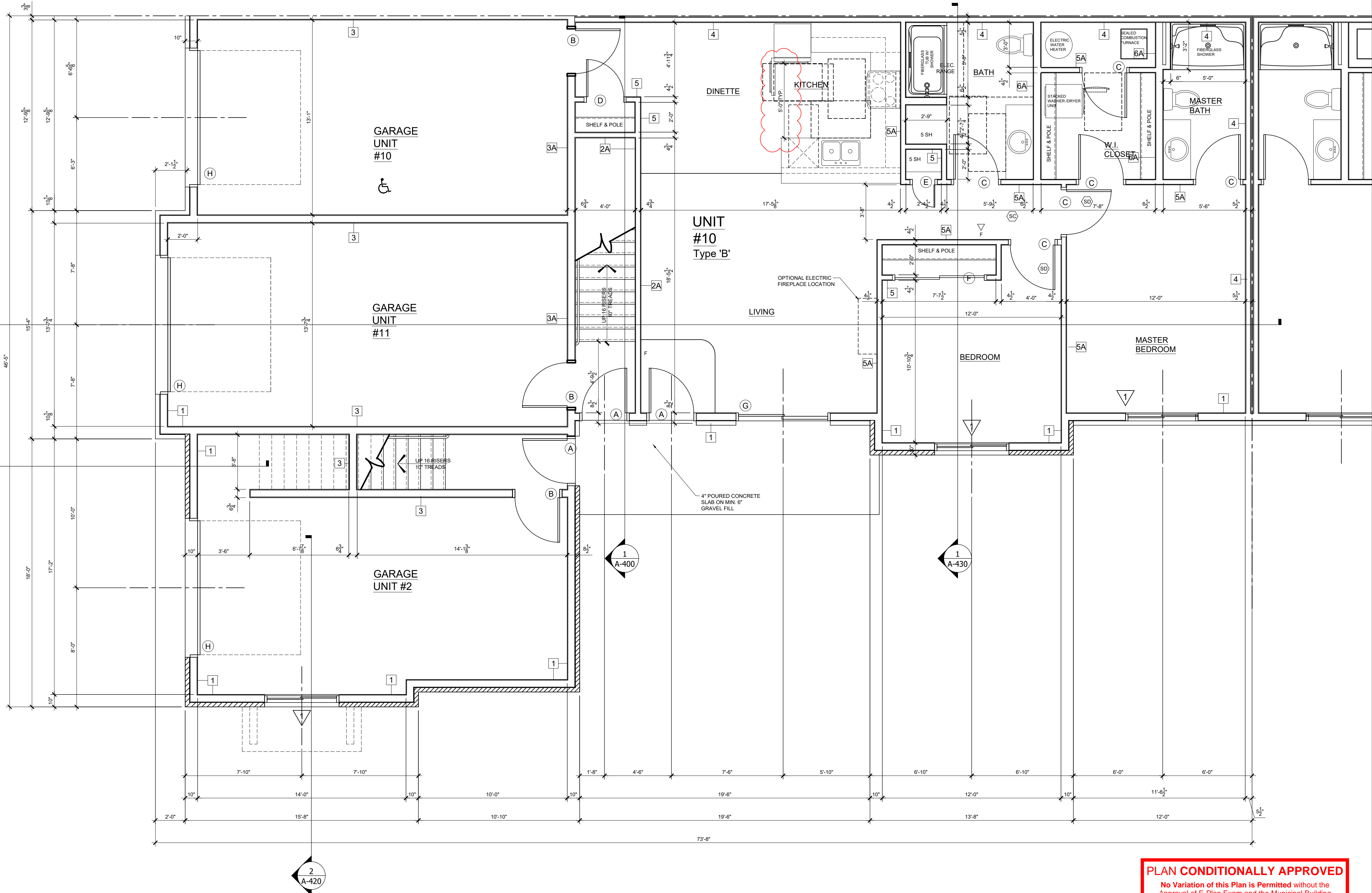


## UNIT SEPARATION WALL @ FLOOR / CEILING DETAIL

NO SCALE

- FLOOR PLAN NOTES:**
- BUILDING SHALL BE SPRINKLERED PER NFPA13R.
  - SEE A120 FOR WALL TYPES.
  - SEE A120 FOR BATH TUB AT UNIT WALL DETAIL.
  - STAIR HANDRAILS SHALL WITHSTAND 200# LOAD APPLIED IN ANY DIRECTION. BRACKETS SHALL BE 3/4" O.C. PROVIDE BLOCKING AS REQUIRED.
  - LOCATE ATTIC ACCESS ON SECOND FLOOR AS INDICATED. ATTIC ACCESS HATCHES SHALL BE 1 HR FIRE RATED UL LABELED ASSEMBLIES.
  - ALL SECOND FLOOR WATER HEATERS AND WASHERS SHALL BE PROVIDED WITH AN OVERFLOW PAN WITH DRAIN TO PREVENT DISCHARGE WATER FROM ENTERING UNIT.
  - PLUMBER TO INSTALL 1/2" FIRECODE GYP. BD. ON BOTTOM OF FLOOR SHEATHING BELOW ANY HOLE CUT OUT AT TUB OR SHOWER BEFORE RUNNING DRAIN LINE THRU FLOOR. FIRECAULK OPENING.
  - ALL LUMBER USED IN THE CONSTRUCTION OF SECOND FLOOR DECKS SHALL BE TREATED DECAY RESISTANT LUMBER. VERIFY RAILINGS AND BALLUSTER MATERIALS WITH OWNER. RAILINGS TO WITHSTAND 200# LOAD APPLIED IN ANY DIRECTION. BALLUSTERS DESIGNED TO PREVENT PASSAGE OF OBJECT 4" IN DIAMETER.
  - SEE DETAIL AT TUB OR SHOWER. ASSURE 1 HOUR RATING AT WALLS AND SECOND FLOOR BY INSTALLING FIRE RATED GYP. BD. AT WALLS OR PLYWOOD SHEATHING PER UL 1550.
  - NO OPENINGS AROUND PIPE, ELECTRIC BOXES, CONDUITS, DUCTS OR OTHER PENETRATING ITEMS THROUGH A FIRE-PROTECTIVE MEMBRANE (EITHER GYP. BD. OR SHEATHING) SHALL BE MORE THAN 1/2". IF MORE THAN 1/2", SEAL ALL OPENINGS WITH A FIRE-STOP PRODUCT OR DEVICE THAT IS TESTED AND LISTED BY AN APPROVED TESTING LAB UNDER ASTM E814. ELECTRICAL BOXES MUST BE CLASSIFIED FOR FIRE RESISTANCE OR METALLIC OUTLET BOXES THAT ARE LISTED BY AN APPROVED TESTING LABORATORY. BOXES MUST NOT BE MORE THAN 16 SQ IN. DO NOT INSTALL ON OPPOSITE SIDES OF WALLS. SPACE BOXES 24" MIN. HORIZONTALLY ON OPPOSITE SIDES OF WALLS. TOTAL AGGREGATE OF ALL SUCH OPENINGS SHALL NOT EXCEED 100 SQ IN.

- INSULATION CONTRACTOR SHALL SUPPLY A SIGNED AND DATED CERTIFICATION FOR THE INSULATION INSTALLED IN EACH ELEMENT, LISTING THE TYPES INSULATION INSTALLATIONS IN ROOF/CEILINGS, THE MANUFACTURER AND THE R-VALUE. FOR BLOWN INSULATION, THE INSTALLER SHALL ALSO PROVIDE THE INITIAL INSTALLED THICKNESS, THE SETTLED THICKNESS, THE COVERAGE AREA, AND THE NUMBER OF BAGS INSTALLED. POST THE FINAL CERTIFICATE ON SITE.
- FIRE ALARM SYSTEM NOTES:**
- VERIFY ALL LOCAL AND STATE REQUIREMENTS
  - EACH LIVING UNIT SHALL HAVE A FIRE ALARM STATION LOCATED AT THE EXIT OF THE UNIT ON FIRST FLOOR AND AT THE TOP OF THE STAIRS AT SECOND FLOOR UNITS AND A HORN LOCATED IN HALL BY BEDROOMS.
  - ALL SMOKE DETECTORS SHALL BE DIRECTLY AND PERMANENTLY WIRED TO A PROPER UNSWITCHED CIRCUIT AND BE PROVIDED WITH A BACKUP POWER SOURCE.
  - ALL SMOKE DETECTORS SHALL BE LOCATED IN HALL, 6' BEDROOM DOOR AND IN EACH BEDROOM.
  - SMOKE DETECTORS SHALL BE LOCATED IN THE UTILITY ROOM AND SHALL BE WIRED TO AN UNSWITCHED CIRCUIT W/ EMERGENCY POWER BACKUP.
- (S) SMOKE ALARM  
(F) FIRE ALARM HORN  
(P) FIRE ALARM PULL STATION  
(SC) COMBINATION SMOKE & CARBON MONOXIDE DETECTOR.
- ELECTRICAL NOTES:**
- ELECTRICAL DESIGNER / CONTRACTOR SHALL PROVIDE HIGH EFFICIENCY LAMPS IN A MINIMUM OF 50% OF THE FIXTURES PER IECC 404.1.



1 ENLARGED FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**PLAN CONDITIONALLY APPROVED**

No Variation of this Plan is Permitted without the Approval of E-Plan Exam and the Municipal Building Inspection Department. See Plan Review Letter and/or Permit for additional conditions that must be addressed during construction prior to inspection.

Review Type: Building & Structure Review Only.

Approved By: *John J. Cunningham* Date: 09/15/2022

LLOYD CARPENTER  
ARCHITECT

ARCHITECTURAL SERVICES  
2663 Maple Hills Drive  
Green Bay, Wisconsin 54313  
920.655.3829  
carp.arch@gmail.com

## REVISION/ISSUE

| No. | DATE | DESCRIPTION |
|-----|------|-------------|
| 1   |      |             |
| 2   |      |             |
| 3   |      |             |
| 4   |      |             |
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| 8   |      |             |
| 9   |      |             |
| 10  |      |             |

PROPOSED 12 UNIT APARTMENT BUILDING FOR:  
**NICOLET LUMBER CO.**  
EAGLE RIVER, WISCONSIN

PROJECT:

DESIGNED BY: LCA

APPROVED BY: LCA

DATE: 9-8-22

SCALE: AS SHOWN

JOB NUMBER

TITLE  
**ENLARGED  
FIRST FLOOR PLAN**

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.  
CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

A200



| DOOR SCHEDULE         |      |  |  |
|-----------------------|------|--|--|
| MARK                  | TYPE | DESCRIPTION  | HARDWARE   |
| (A)<br>EXTERIOR ENTRY | 1    | 3'-0" x 6'-8" INSULATED 6 PANEL DOOR, 20 MINUTE LABEL.   | ADA APPROVED HARDWARE, 3 SELF CLOSING HINGES, DEADBOLT, LEVER HANDLE, VIEWER, UNIT NUMBER. |
| (B)<br>GARAGE ENTRY   | 4    | 3'-0" x 6'-8" INSULATED 6 PANEL DOOR, 20 MINUTE LABEL.   | ADA APPROVED HARDWARE, 3 SELF CLOSING HINGES, DEADBOLT, LEVER HANDLE.                      |
| (C)<br>INTERIOR       | 2    | 3'-0" x 6'-8" LEGACY HOLLOW CORE W/ WOOD FRAME   | VERIFY W/ OWNER.   |
| (D)<br>INTERIOR       | 3    | 2'-6" x 6'-8" LEGACY HOLLOW CORE W/ WOOD FRAME   | VERIFY W/ OWNER.   |
| (E)<br>INTERIOR       | 2    | 1'-6" x 6'-8" LEGACY HOLLOW CORE W/ WOOD FRAME   | VERIFY W/ OWNER.   |
| (F)<br>INTERIOR       | 3    | 6'-0" x 6'-8" 2 PANEL SLIDE BY HOLLOW CORE W/ WOOD FRAME.  | VERIFY W/ OWNER.   |
| (G)<br>EXTERIOR       | 5    | 6'-5 1/2" x 6'-8" "QUAKER" PATIO DOOR W/ LOW 'E' TEMPERED GLAZING, 2" GRILLS. ADA COMPLIANT. VERIFY WIDTH. | VERIFY W/ OWNER.   |
| (H)<br>GARAGE         | 6    | 9'-0" x 7'-0" RAISED PANEL INSULATED OVERHEAD DOOR.  | 1" H.P. OPENER W/ 3 FUNCTION WALL CONTROL, ONE CAR REMOTE, AND KEYLESS ENTRY PAD.          |

| ROOM SCHEDULE  |                           |      |               |                           |
|----------------|---------------------------|------|---------------|---------------------------|
| NAME           | WALL                      | BASE | FLOOR         | CEILING                   |
| FOYER          | TEXTURED PAINT ON DRYWALL | WOOD | WOOD LAMINATE | TEXTURED PAINT ON DRYWALL |
| LIVING         | TEXTURED PAINT ON DRYWALL | WOOD | CARPET        | TEXTURED PAINT ON DRYWALL |
| KITCHEN        | TEXTURED PAINT ON DRYWALL | WOOD | VINYL         | TEXTURED PAINT ON DRYWALL |
| DINETTE        | TEXTURED PAINT ON DRYWALL | WOOD | CARPET        | TEXTURED PAINT ON DRYWALL |
| HALL           | TEXTURED PAINT ON DRYWALL | WOOD | CARPET        | TEXTURED PAINT ON DRYWALL |
| BEDROOM        | TEXTURED PAINT ON DRYWALL | WOOD | CARPET        | TEXTURED PAINT ON DRYWALL |
| BATH           | TEXTURED PAINT ON DRYWALL | WOOD | VINYL         | TEXTURED PAINT ON DRYWALL |
| MASTER BEDROOM | TEXTURED PAINT ON DRYWALL | WOOD | CARPET        | TEXTURED PAINT ON DRYWALL |
| MASTER BATH    | TEXTURED PAINT ON DRYWALL | WOOD | VINYL         | TEXTURED PAINT ON DRYWALL |
| LAUNDRY        | TEXTURED PAINT ON DRYWALL | WOOD | VINYL         | TEXTURED PAINT ON DRYWALL |
| CLOSET         | TEXTURED PAINT ON DRYWALL | WOOD | CARPET        | TEXTURED PAINT ON DRYWALL |
| HVAC           | TEXTURED PAINT ON DRYWALL | NONE | NONE          | TEXTURED PAINT ON DRYWALL |
|                |                           |      |               |                           |
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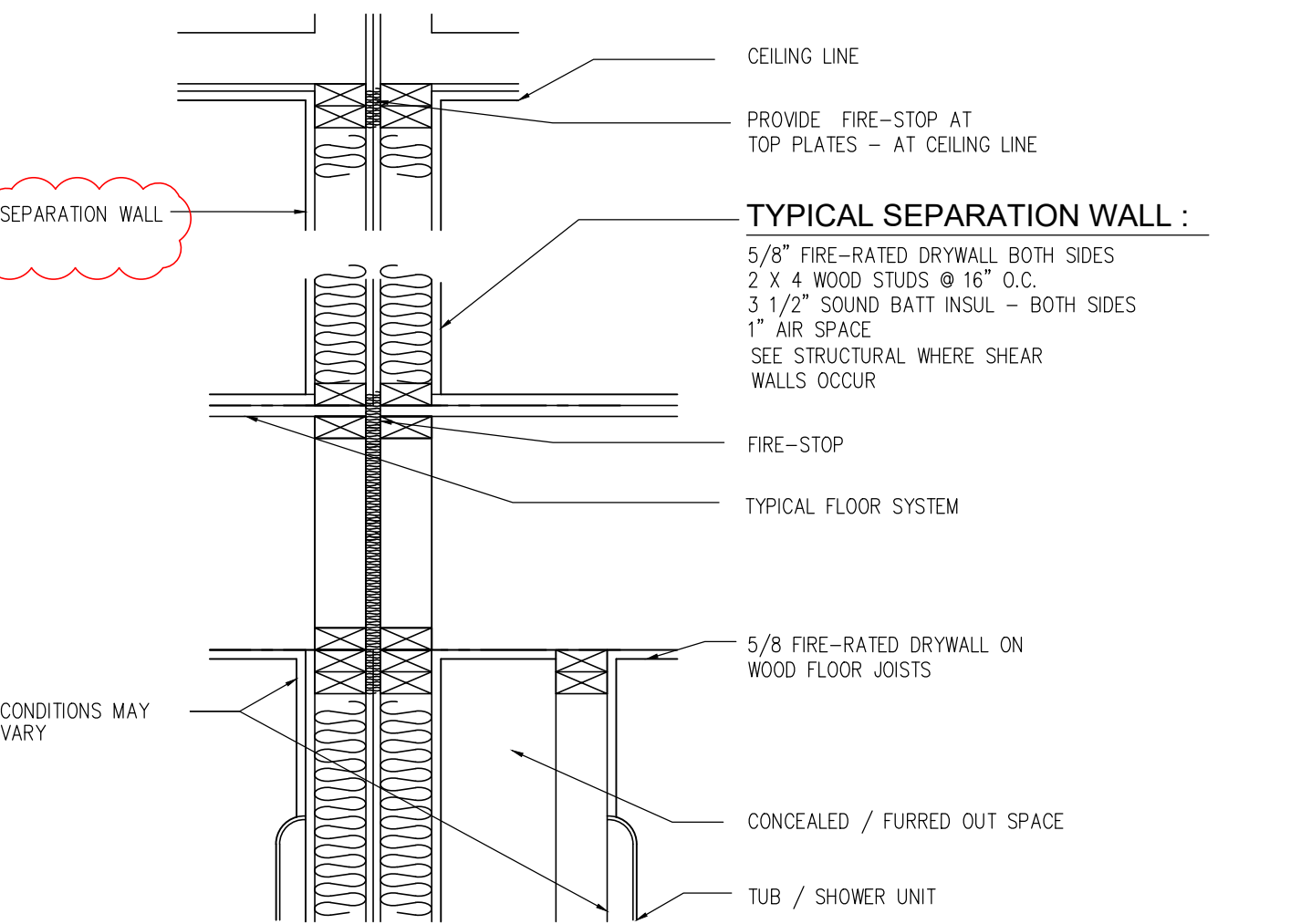
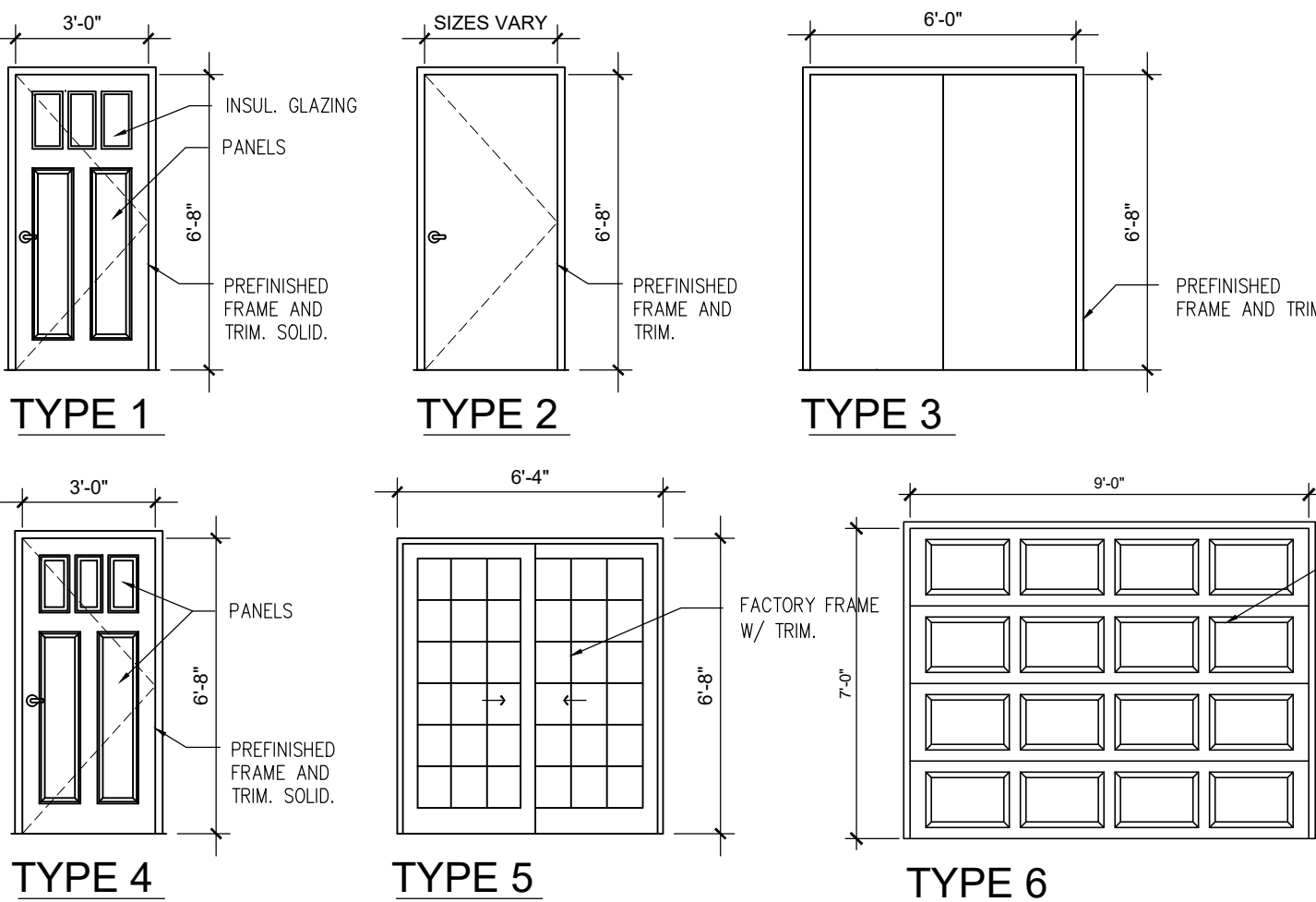
| WINDOW SCHEDULE |             |                          |                    |                                       |         |         |
|-----------------|-------------|--------------------------|--------------------|---------------------------------------|---------|---------|
| MARK            | UNIT (S)    | ROUGH OPENING            | GLAZING            | REMARKS                               | U-VALUE | REMARKS |
| ▽               | SLIDER 5038 | 60 3/4" x 44 1/2" VERIFY | LOW 'E' INSUL. GL. | UPPER SASH GRILLES & SCREENS REQUIRED | 0.25    | 0.21    |

WINDOW AND SLIDING DOOR NOTES:

- WINDOW AND PATIO DOOR SIZES ARE BASED ON UNIT MANUFACTURED BY "QUAKER - MANCHESTER SERIES", LOW 'E' INSULATING GLASS. PROVIDE GRILLE PATTERN AS SHOWN. ALL WINDOWS AND DOORS COMPLY WITH EGRESS REQUIREMENTS AND ACCESSIBILITY CLEAR OPENING SIZE.
- COLOR SHALL BE SELECTED FROM MANUFACTURES STANDARD INDEX AND SHALL BE VERIFIED WITH OWNER.
- WINDOW DATA BASED ON QUAKER WINDOWS. ANY SUBSTITUTIONS SHALL BE VERIFIED WITH ARCHITECT AND COMPLY WITH IBC CHAPTER 12.
- \* DENOTES CLEAR OPENING FOR (1) SLIDING PORTION OF WINDOW UNIT IN OPENED POSITION.
- \*\* DENOTES CLEAR OPENING FOR BOTH SLIDING AND STATIONARY PANEL IN EITHER WINDOW OR DOOR.
- WINDOWS SHALL BE COMPLIANT WITH ONE OF THE PROTECTION METHODS PER IBC 1015.8. IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LESS THAN 36" ABOVE THE FINISH FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE.

1 HR FIRE RATED ATTIC ACCESS HATCHES:

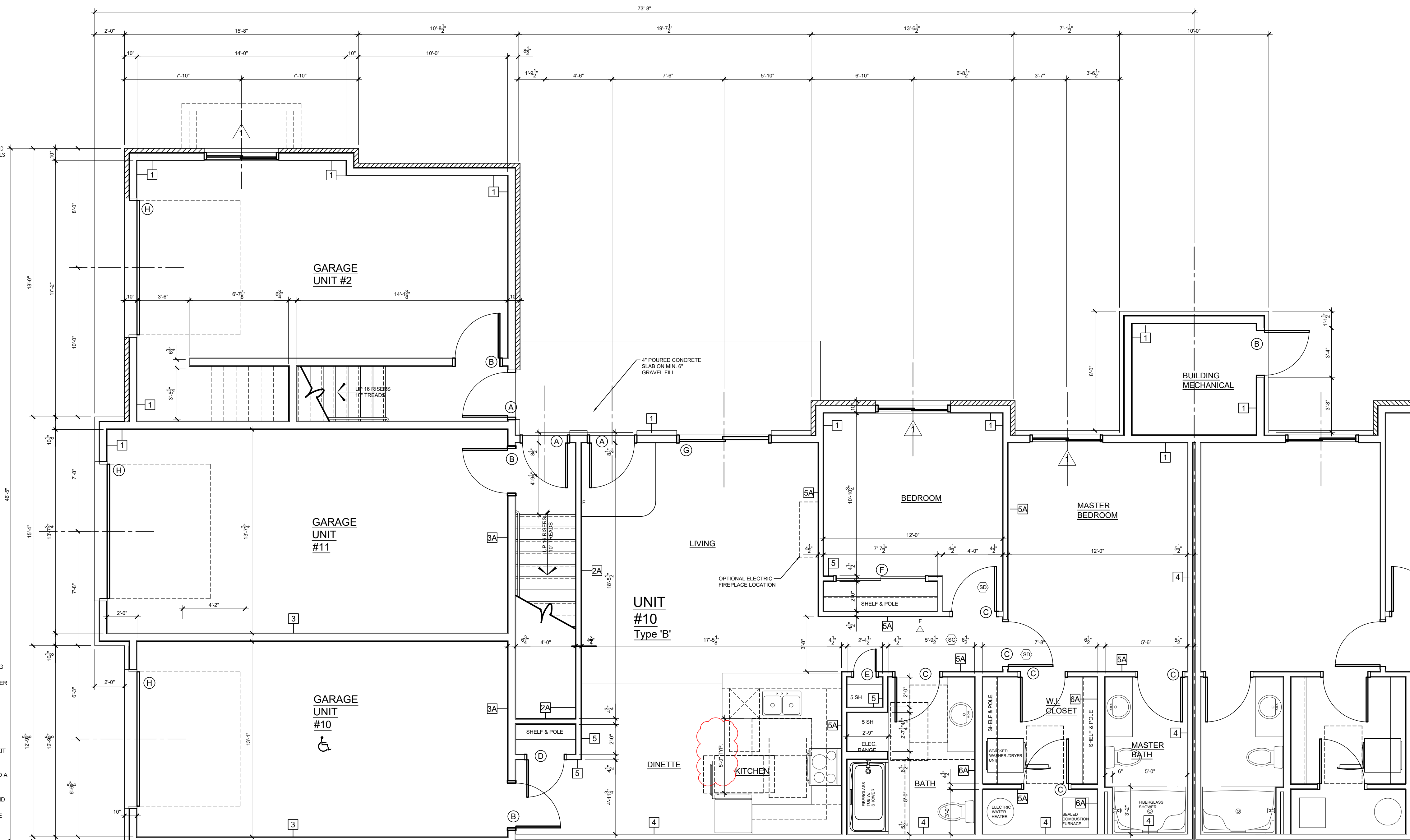
- ALL HATCHES IN 1 HR RATED CEILING ASSEMBLIES SHALL BE "BEST ACCESS DOORS" OR EQUAL
- 22" X 36" - 2 LOCKS
- RATED FOR 1 HOUR IN COMBUSTIBLE CONSTRUCTION.
- VERIFY ALL DETAILS WITH OWNER PRIOR TO CONST.
- TESTED PER ASTM E119 AND CAN/ULC S101



### FLOOR SEPARATION WALL @ FLOOR / CEILING DETAIL

NO SCALE

- FLOOR PLAN NOTES:**
- BUILDING SHALL BE SPRINKLERED PER NFPA13R.
  - SEE A120 FOR WALL TYPES.
  - SEE A120 FOR BATH TUB AT UNIT WALL DETAIL.
  - STAIR HANDRAILS: ALL HANDRAILS SHALL WITHSTAND 200# LOAD APPLIED IN ANY DIRECTION. BRACKETS SHALL BE 32" O.C. PROVIDE BLOCKING AS REQUIRED.
  - LOCATE ATTIC ACCESS ON SECOND FLOOR AS INDICATED. ATTIC ACCESS HATCHES SHALL BE 1 HR FIRE RATED UL LABELED ASSEMBLIES.
  - ALL SECOND FLOOR WATER HEATERS AND WASHERS SHALL BE PROVIDED WITH AN OVERFLOW PAN WITH DRAIN TO PREVENT DISCHARGE WATER FROM ENTERING UNIT.
  - PLUMBER TO INSTALL 3/4" FIRECODE GYP. BD. ON BOTTOM OF FLOOR SHEATHING BELOW ANY HOLE CUT OUT AT TUB OR SHOWER BEFORE RUNNING DRAIN LINE THRU FLOOR. FIRECAULK OPENING.
  - ALL LUMBER USED IN THE CONSTRUCTION OF SECOND FLOOR DECKS SHALL BE TREATED DECAY RESISTANT LUMBER. VERIFY RAILINGS AND BALLUSTER MATERIALS WITH OWNER. RAILINGS TO WITHSTAND 200# LOAD APPLIED IN ANY DIRECTION. BALLUSTERS DESIGNED TO PREVENT PASSAGE OF OBJECT 4" IN DIAMETER.
  - SEE DETAIL AT TUB OR SHOWER. ASSURE 1 HOUR RATING AT WALLS AND SECOND FLOOR BY INSTALLING FIRE RATED GYP. BD. AT WALLS OR PLYWOOD SHEATHING PER UL L550.
  - NO OPENINGS AROUND PIPE, ELECTRIC BOXES, CONDUITS, DUCTS OR OTHER PENETRATING ITEMS THROUGH A FIRE-PROTECTIVE MEMBRANE (EITHER GYP. BD. OR SHEATHING) SHALL BE MORE THAN 1/2"; IF MORE THAN 1/2", SEAL ALL OPENINGS WITH A FIRE-STOP PRODUCT OR DEVICE THAT IS TESTED AND LISTED BY AN APPROVED TESTING LAB UNDER ASTM E814. ELECTRICAL BOXES MUST BE CLASSIFIED FOR FIRE RESISTANCE OR METALIC OUTLET BOXES THAT ARE LISTED BY AN APPROVED TESTING LABORATORY. BOXES MUST NOT BE MORE THAN 16 SQ. IN. DO NOT INSTALL ON OPPOSITE SIDES OF WALLS. SPACE BOXES 24" MIN. HORIZONTALLY ON OPPOSITE SIDES OF WALLS. TOTAL AGGREGATE OF ALL SUCH OPENINGS SHALL NOT EXCEED 100 SQ. IN.
  - INSULATION CONTRACTOR SHALL SUPPLY A SIGNED AND DATED CERTIFICATION FOR THE INSULATION INSTALLED IN EACH ELEMENT, LISTING THE TYPES INSULATION INSTALLATIONS IN ROOF/CEILINGS, THE MANUFACTURER AND THE R-VALUE. FOR BLOWN INSULATION, THE INSTALLER SHALL ALSO PROVIDE THE INITIAL INSTALLED THICKNESS, THE SETTLED THICKNESS, THE COVERAGE AREA, AND THE NUMBER OF BAGS INSTALLED. POST THE FINAL CERTIFICATE ON SITE.
- FIRE ALARM SYSTEM NOTES:**
- VERIFY ALL LOCAL AND STATE REQUIREMENTS.
  - EACH LIVING UNIT SHALL HAVE A FIRE ALARM STATION LOCATED AT THE EXIT OF THE UNIT ON FIRST FLOOR AND AT THE TOP OF THE STAIRS AT SECOND FLOOR UNITS AND A HORN LOCATED IN HALL BY BEDROOMS.
  - ALL SMOKE DETECTORS SHALL BE DIRECTLY AND PERMANENTLY WIRED TO A PROPER UNSWITCHED CIRCUIT AND BE PROVIDED WITH A BACKUP POWER SOURCE.
  - ALL SMOKE DETECTORS SHALL BE LOCATED IN HALL 6" BEDROOM DOOR AND IN EACH BEDROOM.
  - SMOKE DETECTORS SHALL BE LOCATED IN THE UTILITY ROOM AND SHALL BE WIRED TO AN UNSWITCHED CIRCUIT W/ EMERGENCY POWER BACKUP.
- (SD) SMOKE ALARM  
(F) FIRE ALARM HORN  
(F) FIRE ALARM PULL STATION  
(SC) COMBINATION SMOKE & CARBON MONOXIDE DETECTOR.
- ELECTRICAL NOTES:**
- ELECTRICAL DESIGNER / CONTRACTOR SHALL PROVIDE HIGH EFFICIENCY LAMPS IN A MINIMUM OF 50% OF THE FIXTURES PER IECC 404.1.



1 ENLARGED FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**PLAN CONDITIONALLY APPROVED**

No Variation of this Plan is Permitted without the Approval of E-Plan Exam and the Municipal Building Inspection Department. See Plan Review Letter and/or Permit for additional conditions that must be addressed during construction prior to inspection.

Review Type: Building & Structure Review Only.

Approved By: *John J. Cunningham* Date: 09/15/2022

LLOYD CARPENTER  
ARCHITECT

ARCHITECTURAL SERVICES

2663 Maple Hills Drive  
Green Bay, Wisconsin 54313  
920.655.3829  
carp.arch@gmail.com

| REVISION/ISSUE |            |                   |
|----------------|------------|-------------------|
| No.            | DATE       | DESCRIPTION       |
| 1              | 09/15/2022 | ISSUED FOR PERMIT |
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PROPOSED 12 UNIT APARTMENT BUILDING FOR:  
**NICOLET LUMBER CO.**  
EAGLE RIVER, WISCONSIN

PROJECT:

DESIGNED BY: LCA

APPROVED BY: LCA

DATE: 9-8-22

SCALE: AS SHOWN

JOB NUMBER

TITLE  
ENLARGED  
FIRST FLOOR PLAN

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.

CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

A210



## DOOR SCHEDULE

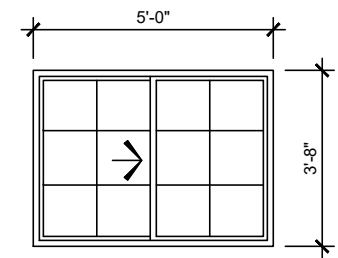
| MARK                  | TYPE | DESCRIPTION  | HARDWARE   |
|-----------------------|------|--|--|
| (A)<br>EXTERIOR ENTRY | 1    | 3'-0" X 6'-8" INSULATED 6 PANEL DOOR. 20 MINUTE LABEL.   | ADA APPROVED HARDWARE. 3 SELF CLOSING HINGES, DEADBOLT, LEVER HANDLE, VIEWER, UNIT NUMBER. |
| (B)<br>GARAGE ENTRY   | 4    | 3'-0" X 6'-8" INSULATED 6 PANEL DOOR. 20 MINUTE LABEL.   | ADA APPROVED HARDWARE. 3 SELF CLOSING HINGES, DEADBOLT, LEVER HANDLE.                      |
| (C)<br>INTERIOR       | 2    | 3'-0" X 6'-8" LEGACY HOLLOW CORE W/ WOOD FRAME.  | VERIFY W/ OWNER.   |
| (D)<br>INTERIOR       | 3    | 2'-6" X 6'-8" LEGACY HOLLOW CORE W/ WOOD FRAME.  | VERIFY W/ OWNER.   |
| (E)<br>INTERIOR       | 2    | 1'-6" X 6'-8" LEGACY HOLLOW CORE W/ WOOD FRAME.  | VERIFY W/ OWNER.   |
| (F)<br>INTERIOR       | 3    | 6'-0" X 6'-8" 2 PANEL SLIDE BY HOLLOW CORE W/ WOOD FRAME.  | VERIFY W/ OWNER.   |
| (G)<br>EXTERIOR       | 5    | 6'-5 1/2" X 6'-8" "QUAKER" PATIO DOOR W/ LOW "E" TEMPERED GLAZING. 3" GRILLES. ADA COMPLIANT. VERIFY WOTH. | VERIFY W/ OWNER.   |
| (H)<br>GARAGE         | 6    | 9'-0" X 7'-0" RAISED PANEL INSULATED OVERHEAD DOOR.  | 3" H.P. OPENER W/ 3 FUNCTION WALL CONTROL, ONE CAR REMOTE, AND KEYLESS ENTRY PAD.          |

## ROOM SCHEDULE

| NAME           | WALL                      | BASE | FLOOR         | CEILING                   |
|----------------|---------------------------|------|---------------|---------------------------|
| FOYER          | TEXTURED PAINT ON DRYWALL | WOOD | WOOD LAMINATE | TEXTURED PAINT ON DRYWALL |
| LIVING         | TEXTURED PAINT ON DRYWALL | WOOD | CARPET        | TEXTURED PAINT ON DRYWALL |
| KITCHEN        | TEXTURED PAINT ON DRYWALL | WOOD | VINYL         | TEXTURED PAINT ON DRYWALL |
| DINETTE        | TEXTURED PAINT ON DRYWALL | WOOD | CARPET        | TEXTURED PAINT ON DRYWALL |
| HALL           | TEXTURED PAINT ON DRYWALL | WOOD | CARPET        | TEXTURED PAINT ON DRYWALL |
| BEDROOM        | TEXTURED PAINT ON DRYWALL | WOOD | CARPET        | TEXTURED PAINT ON DRYWALL |
| BATH           | TEXTURED PAINT ON DRYWALL | WOOD | VINYL         | TEXTURED PAINT ON DRYWALL |
| MASTER BEDROOM | TEXTURED PAINT ON DRYWALL | WOOD | CARPET        | TEXTURED PAINT ON DRYWALL |
| MASTER BATH    | TEXTURED PAINT ON DRYWALL | WOOD | VINYL         | TEXTURED PAINT ON DRYWALL |
| LAUNDRY        | TEXTURED PAINT ON DRYWALL | WOOD | VINYL         | TEXTURED PAINT ON DRYWALL |
| CLOSET         | TEXTURED PAINT ON DRYWALL | WOOD | CARPET        | TEXTURED PAINT ON DRYWALL |
| HVAC           | TEXTURED PAINT ON DRYWALL | NONE | NONE          | TEXTURED PAINT ON DRYWALL |
|                |                           |      |               |                           |
|                |                           |      |               |                           |

## WINDOW SCHEDULE

| MARK | UNIT (S)    | ROUGH OPENING            | GLAZING            | REMARKS                               | U-VALUE | REMARKS |
|------|-------------|--------------------------|--------------------|---------------------------------------|---------|---------|
| 1    | SLIDER 5038 | 60 3/4" x 44 1/2" VERIFY | LOW "E" INSUL. GL. | UPPER SASH GRILLES & SCREENS REQUIRED | 0.25    | 0.21    |



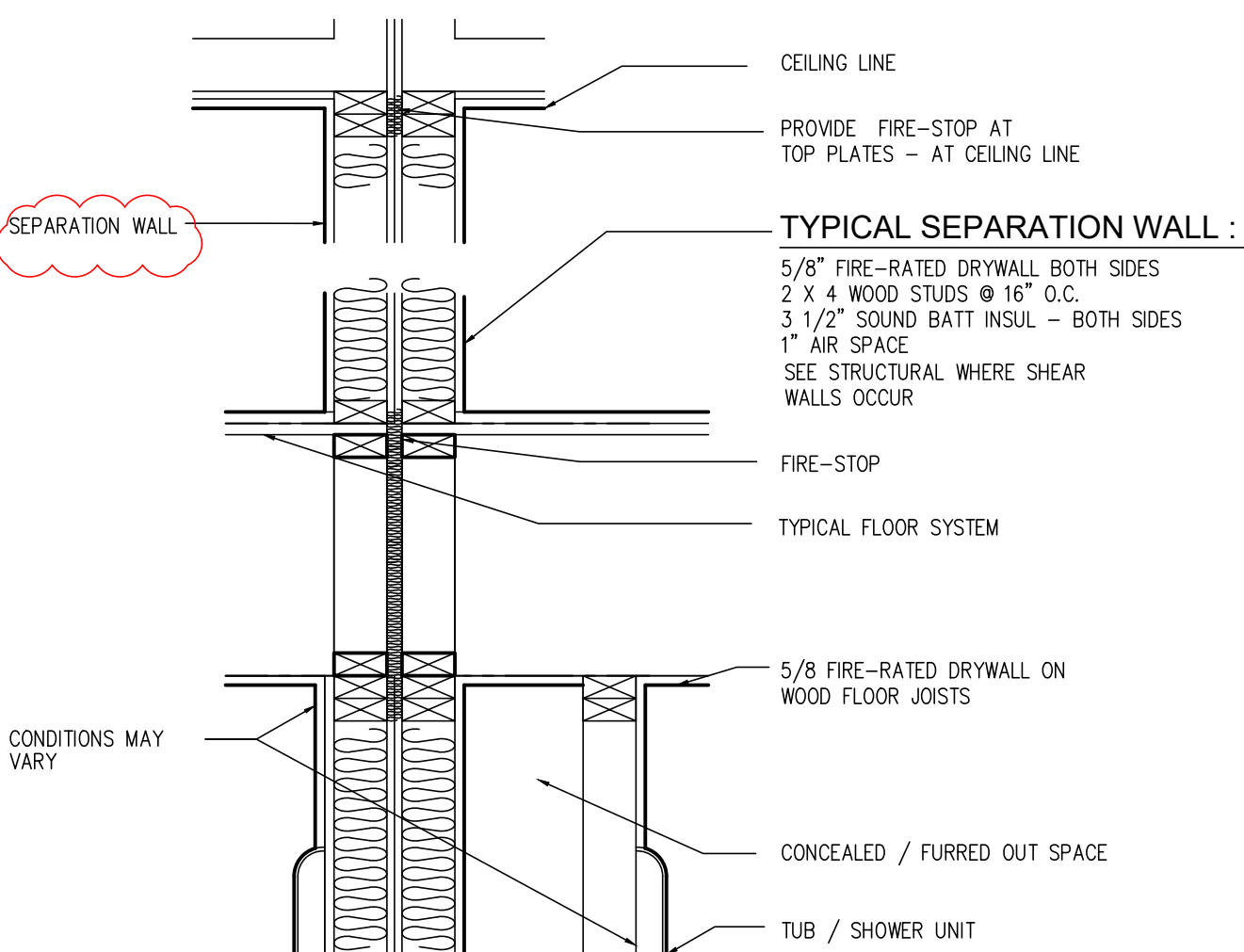
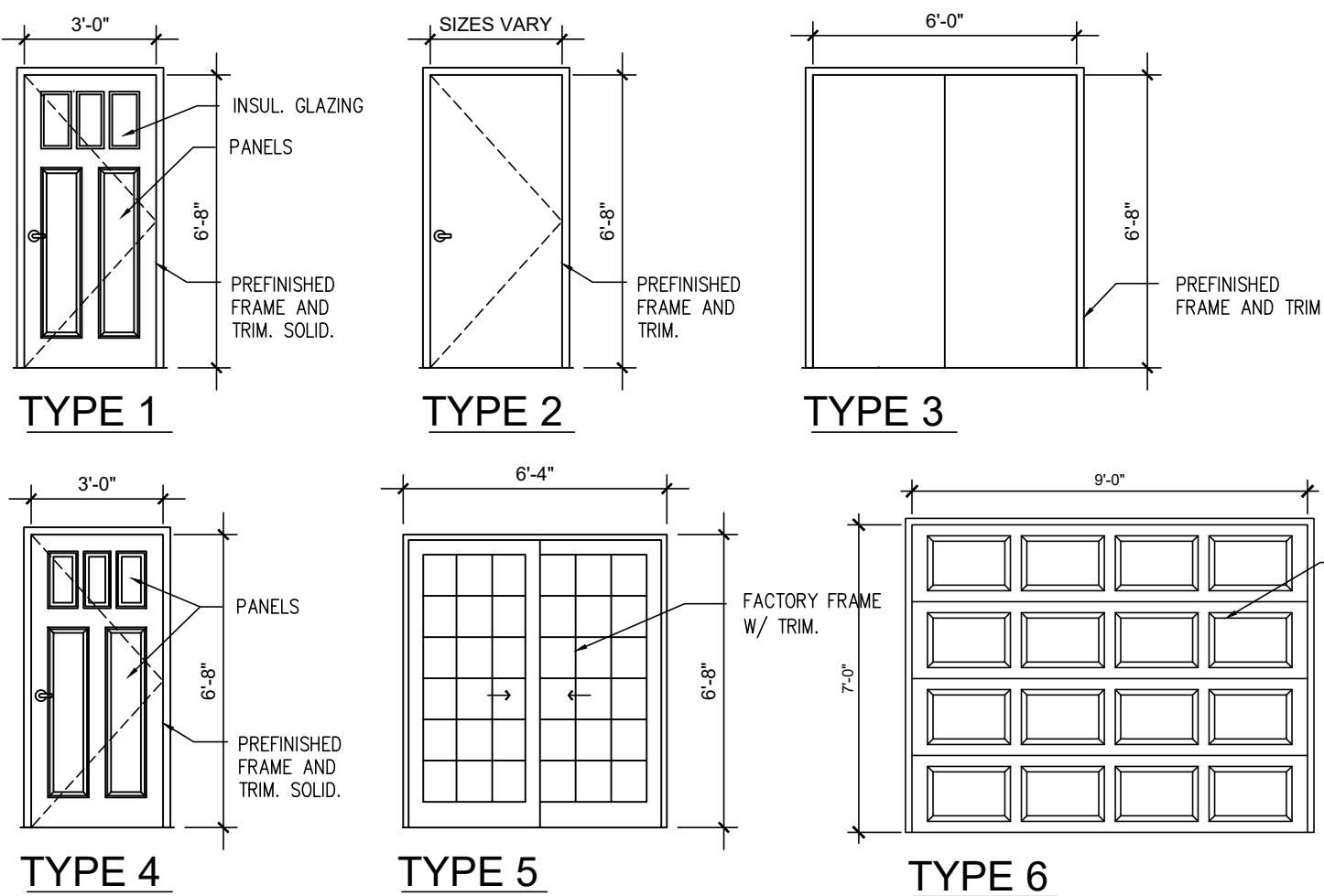
TYPE 1

## WINDOW AND SLIDING DOOR NOTES:

- WINDOW AND PATIO DOOR SIZES ARE BASED ON UNIT MANUFACTURED BY "QUAKER - MANCHESTER SERIES". LOW "E" INSULATING GLASS. PROVIDE GRILLE PATTERN AS SHOWN. ALL WINDOWS AND DOORS COMPLY WITH EGRESS REQUIREMENTS AND ACCESSIBILITY CLEAR OPENING SIZE.
- COLOR SHALL BE SELECTED FROM MANUFACTURES STANDARD INDEX AND SHALL BE VERIFIED WITH OWNER.
- WINDOW DATA BASED ON QUAKER WINDOWS. ANY SUBSTITUTIONS SHALL BE VERIFIED WITH ARCHITECT AND COMPLY WITH IBC CHAPTER 12.
- \* DENOTES CLEAR OPENING FOR (1) SLIDING PORTION OF WINDOW UNIT IN OPENED POSITION.
- \*\* DENOTES CLEAR OPENING FOR BOTH SLIDING AND STATIONARY PANEL IN EITHER WINDOW OR DOOR.
- WINDOWS SHALL BE COMPLIANT WITH ONE OF THE PROTECTION METHODS PER IBC 1015.8. IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LESS THAN 36" ABOVE THE FINISH FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE.

## 1 HR FIRE RATED ATTIC ACCESS HATCHES:

- ALL HATCHES IN 1 HR RATED CEILING ASSEMBLIES SHALL BE "BEST ACCESS DOORS" OR EQUAL
- 22" X 36" - 2 LOCKS
- RATED FOR 1 HOUR IN COMBUSTIBLE CONSTRUCTION.
- VERIFY ALL DETAILS WITH OWNER PRIOR TO CONST.
- TESTED PER ASTM E119 AND CAN/ULC S101

UNIT SEPARATION WALL @ FLOOR / CEILING DETAIL  
NO SCALE

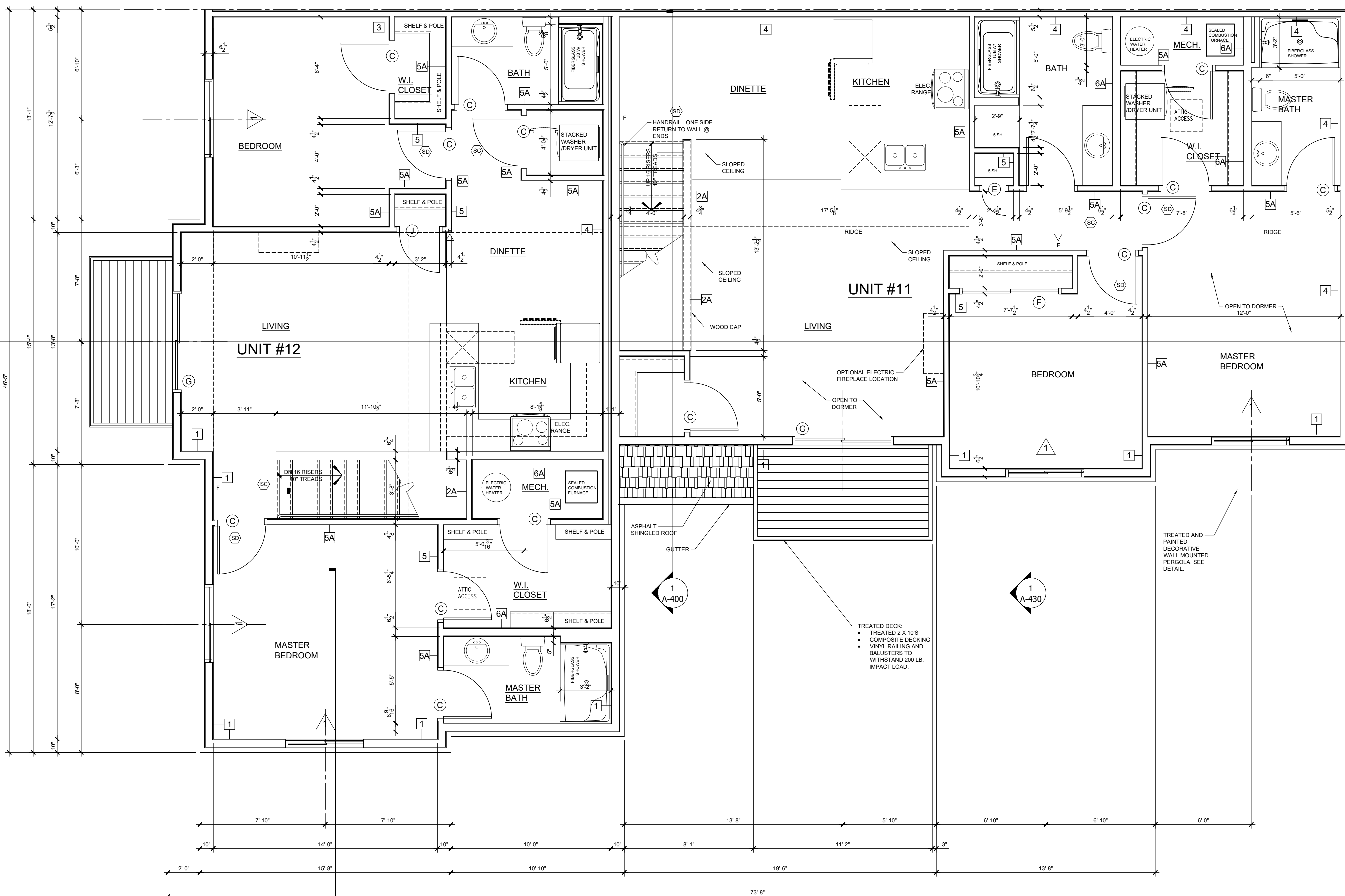
## FLOOR PLAN NOTES:

- BUILDING SHALL BE SPRINKLERED PER NFPA13R.
- SEE A120 FOR WALL TYPES.
- SEE A120 FOR BATH TUB AT UNIT WALL DETAIL.
- STAIR HANDRAILS: ALL HANDRAILS SHALL WITHSTAND 200# LOAD APPLIED IN ANY DIRECTION. BRACKETS SHALL BE 32" O.C. PROVIDE BLINDING AS REQUIRED.
- LOCATE ATTIC ACCESS ON SECOND FLOOR AS INDICATED. ATTIC ACCESS HATCHES SHALL BE 1 HR FIRE RATED UL LABELED ASSEMBLIES.
- ALL SECOND FLOOR WATER HEATERS AND WASHERS SHALL BE PROVIDED WITH AN OVERFLOW PAN WITH DRAIN TO PREVENT DISCHARGE WATER FROM ENTERING UNIT.
- PLUMBER TO INSTALL 1/2" FIRECODE GYP. BD. ON BOTTOM OF FLOOR SHEATHING BELOW ANY HOLE CUT OUT AT TUB OR SHOWER BEFORE RUNNING DRAIN LINE THRU FLOOR. FIRECAULK OPENING.
- ALL LUMBER USED IN THE CONSTRUCTION OF SECOND FLOOR DECKS SHALL BE TREATED DECAY RESISTANT LUMBER. VERIFY RAILINGS AND BALLUSTER MATERIALS WITH OWNER. RAILINGS TO WITHSTAND 200# LOAD APPLIED IN ANY DIRECTION. BALLUSTERS DESIGNED TO PREVENT PASSAGE OF OBJECT 4" IN DIAMETER.
- SEE DETAIL AT TUB OR SHOWER. ASSURE 1 HOUR RATING AT WALLS AND SECOND FLOOR BY INSTALLING FIRE RATED GYP. BD. AT WALLS OR PLYWOOD SHEATHING PER UL L550.
- NO OPENINGS AROUND PIPE, ELECTRIC BOXES, CONDUITS, DUCTS OR OTHER PENETRATING ITEMS THROUGH A FIRE-PROTECTIVE MEMBRANE (EITHER GYP. BD. OR SHEATHING) SHALL BE MORE THAN 1/2". IF MORE THAN 1/2", SEAL ALL OPENINGS WITH A FIRE-STOP PRODUCT OR DEVICE THAT IS TESTED AND LISTED BY AN APPROVED TESTING LAB UNDER ASTM E814. ELECTRICAL BOXES MUST BE CLASSIFIED FOR FIRE RESISTANCE OR METALLIC OUTLET BOXES THAT ARE LISTED BY AN APPROVED TESTING LABORATORY. BOXES MUST NOT BE MORE THAN 16 SQ. IN. DO NOT INSTALL ON OPPOSITE SIDES OF WALLS. SPACE BOXES 24" MIN. HORIZONTALLY ON OPPOSITE SIDES OF WALLS. TOTAL AGGREGATE OF ALL SUCH OPENINGS SHALL NOT EXCEED 100 SQ. IN.

- INSULATION CONTRACTOR SHALL SUPPLY A SIGNED AND DATED CERTIFICATION FOR THE INSULATION INSTALLED IN EACH ELEMENT, LISTING THE TYPES INSULATION INSTALLATIONS IN ROOFCeilings, THE MANUFACTURER AND THE R-VALUE. FOR BLOWN INSULATION, THE INSTALLER SHALL ALSO PROVIDE THE INITIAL INSTALLED THICKNESS, THE SETTLED THICKNESS, THE COVERAGE AREA, AND THE NUMBER OF BAGS INSTALLED. POST THE FINAL CERTIFICATE ON SITE.
- VERIFY ALL LOCAL AND STATE REQUIREMENTS
- EACH LIVING UNIT SHALL HAVE A FIRE ALARM STATION LOCATED AT THE EXIT OF THE UNIT ON FIRST FLOOR AND AT THE TOP OF THE STAIRS AT SECOND FLOOR UNITS AND A HORN LOCATED IN HALL BY BEDROOMS.
- ALL SMOKE DETECTORS SHALL BE DIRECTLY AND PERMANENTLY WIRED TO A PROPER UNSWITCHED CIRCUIT AND BE PROVIDED WITH A BACKUP POWER SOURCE.
- ALL SMOKE DETECTORS SHALL BE LOCATED IN HALL & BEDROOM DOOR AND IN EACH BEDROOM.
- SMOKE DETECTORS SHALL BE LOCATED IN THE UTILITY ROOM AND SHALL BE WIRED TO AN UNSWITCHED CIRCUIT W/ EMERGENCY POWER BACKUP.
- SMOKE ALARM
- FIRE ALARM HORN
- FIRE ALARM PULL STATION
- COMBINATION SMOKE & CARBON MONOXIDE DETECTOR

## ELECTRICAL NOTES:

- ELECTRICAL DESIGNER / CONTRACTOR SHALL PROVIDE HIGH EFFICIENCY LAMPS IN A MINIMUM OF 50% OF THE FIXTURES PER IECQ-404.1.



## 1 ENLARGED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

## PLAN CONDITIONALLY APPROVED

No Variation of this Plan is Permitted without the Approval of E-Plan Exam and the Municipal Building Inspection Department. See Plan Review Letter and/or Permit for additional conditions that must be addressed during construction prior to inspection.

Review Type: Building &amp; Structure Review Only.

Approved By: John J. Cunningham Date: 09/15/2022

LLOYD CARPENTER  
ARCHITECT

ARCHITECTURAL SERVICES

2663 Maple Hills Drive  
Green Bay, Wisconsin 54313  
920.655.3829  
carp.arch@gmail.com

## REVISION/ISSUE

| No. | DATE | DESCRIPTION |
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PROPOSED 12 UNIT APARTMENT BUILDING FOR:  
**NICOLET LUMBER CO.**  
EAGLE RIVER, WISCONSIN

PROJECT:

DESIGNED BY: LCA

APPROVED BY: LCA

DATE: 9-8-22

SCALE: AS SHOWN

JOB NUMBER

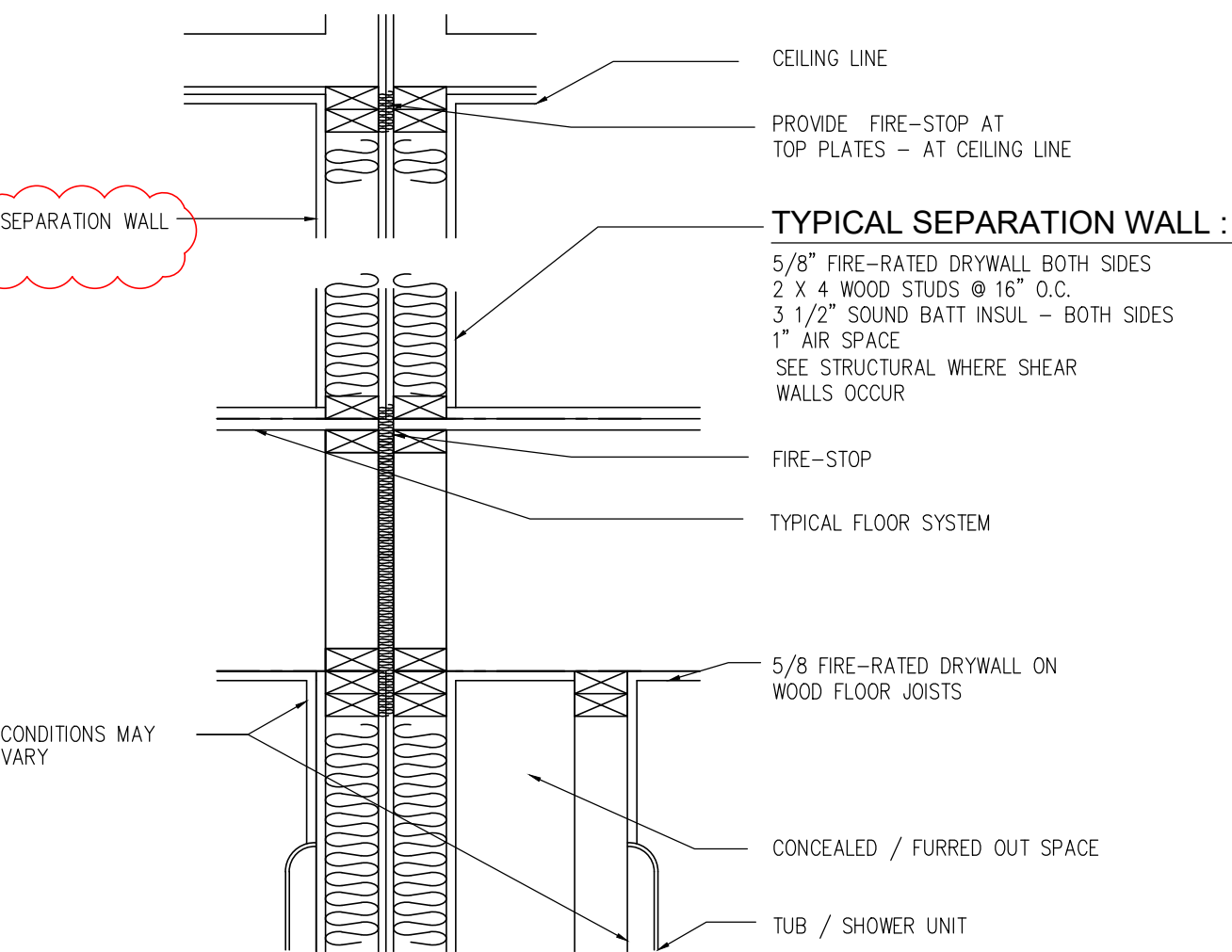
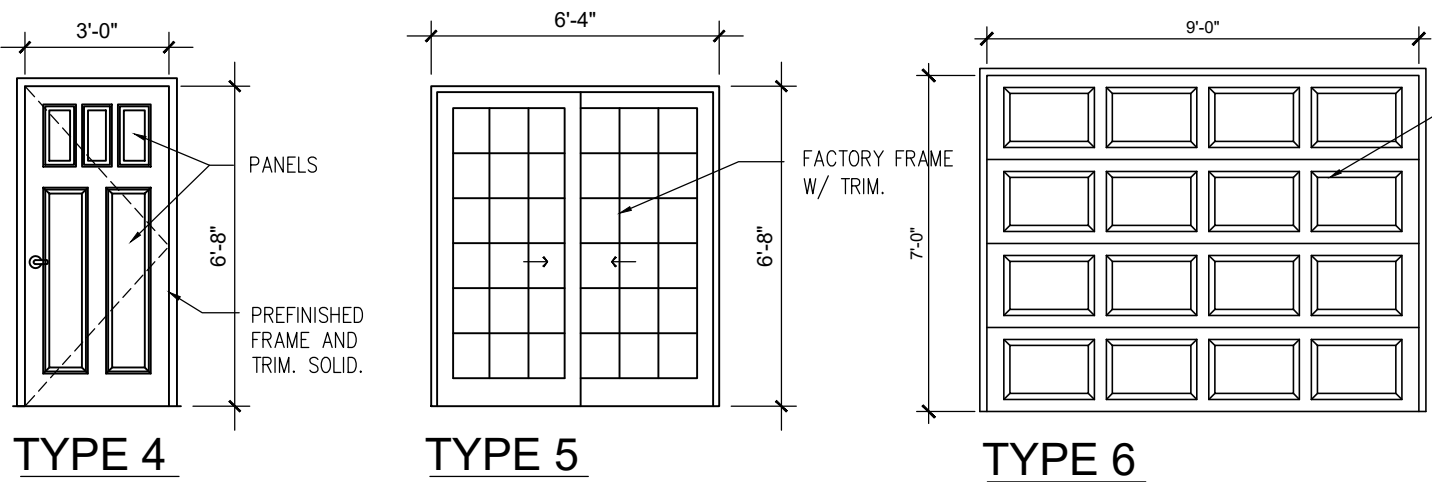
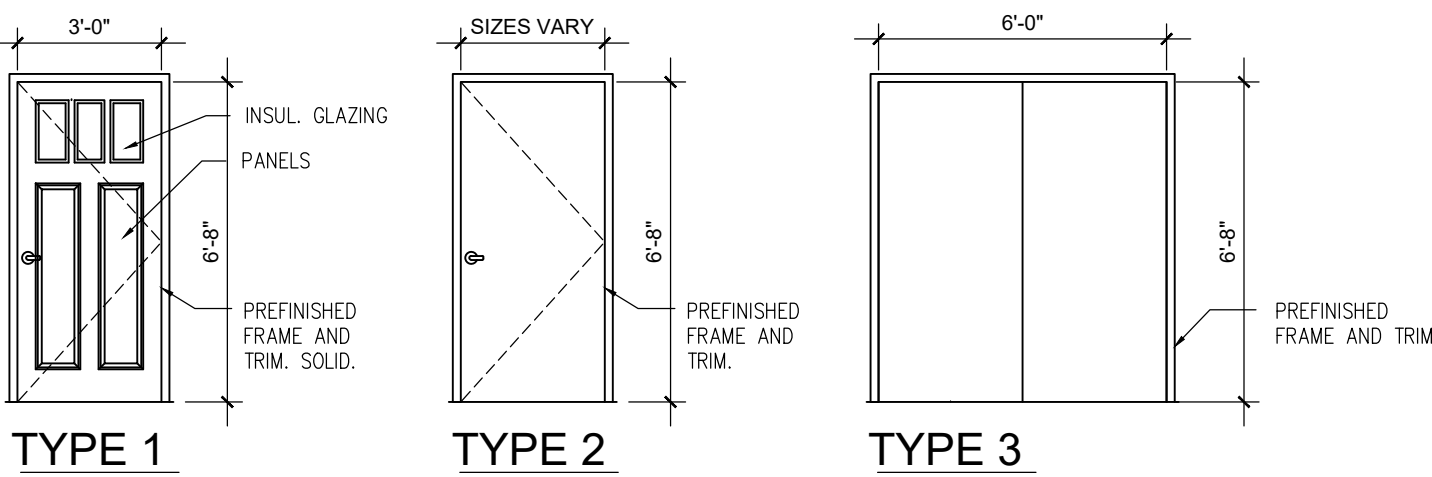
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SECOND FLR. PLANWRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER  
SCALED DIMENSIONS.  
CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR ALL  
DIMENSIONS AND CONDITIONS ON THE JOB. THIS OFFICE MUST  
BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND  
CONDITIONS SHOWN BY THESE DRAWINGS.

A220



## DOOR SCHEDULE

| MARK                  | TYPE | DESCRIPTION   | HARDWARE   |
|-----------------------|------|---|--|
| (A)<br>EXTERIOR ENTRY | 1    | 3'-0" X 6'-8" INSULATED 6 PANEL DOOR. 20 MINUTE LABEL.  | ADA APPROVED HARDWARE, 3 SELF CLOSING HINGES, DEADBOLT, LEVER HANDLE, VIEWER, UNIT NUMBER. |
| (B)<br>GARAGE ENTRY   | 4    | 3'-0" X 6'-8" INSULATED 6 PANEL DOOR. 20 MINUTE LABEL.  | ADA APPROVED HARDWARE, 3 SELF CLOSING HINGES, DEADBOLT, LEVER HANDLE.                      |
| (C)<br>INTERIOR       | 2    | 3'-0" X 6'-8" LEGACY HOLLOW CORE W/ WOOD FRAME  | VERIFY W/ OWNER.   |
| (D)<br>INTERIOR       | 3    | 2'-6" X 6'-8" LEGACY HOLLOW CORE W/ WOOD FRAME  | VERIFY W/ OWNER.   |
| (E)<br>INTERIOR       | 2    | 1'-6" X 6'-8" LEGACY HOLLOW CORE W/ WOOD FRAME  | VERIFY W/ OWNER.   |
| (F)<br>INTERIOR       | 3    | 6'-0" X 6'-8" 2 PANEL SLIDE BY HOLLOW CORE W/ WOOD FRAME.   | VERIFY W/ OWNER.   |
| (G)<br>EXTERIOR       | 5    | 6'-5 1/2" X 6'-8" "QUAKER" PATIO DOOR W/ LOW "E" TEMPERED GLAZING. 2" GRILLES. ADA COMPLIANT. VERIFY WIDTH. | VERIFY W/ OWNER.   |
| (H)<br>GARAGE         | 6    | 9'-0" X 7'-0" RAISED PANEL INSULATED OVERHEAD DOOR.   | 2" H.P. OPENER W/ 3 FUNCTION WALL CONTROL, ONE CAR REMOTE, AND KEYLESS ENTRY PAD.          |

UNIT SEPARATION WALL @ FLOOR / CEILING DETAIL  
NO SCALE

## FLOOR PLAN NOTES:

- BUILDING SHALL BE SPRINKLERED PER NFPA 13R.
- SEE A120 FOR WALL TYPES.
- SEE A120 FOR BATH TUB AT UNIT WALL DETAIL.
- STAIR HANDRAILS SHALL WITHSTAND 200# LOAD APPLIED IN ANY DIRECTION. BRACKETS SHALL BE 32" O.C. PROVIDE BLOCKING AS REQUIRED.
- LOCATE ATTIC ACCESS ON SECOND FLOOR AS INDICATED. ATTIC ACCESS HATCHES SHALL BE 1 HR FIRE RATED UL LABELED ASSEMBLIES.
- ALL SECOND FLOOR WATER HEATERS AND WASHERS SHALL BE PROVIDED WITH AN OVERFLOW PAN WITH DRAIN TO PREVENT DISCHARGE WATER FROM ENTERING UNIT.
- PLUMBER TO INSTALL 1/2" FIRECODE GYP. BD. ON BOTTOM OF FLOOR SHEATHING BELOW ANY HOLE CUT OUT AT TUB OR SHOWER BEFORE RUNNING DRAIN LINE THRU FLOOR. FIRECALLK OPENING.
- ALL LUMBER USED IN THE CONSTRUCTION OF SECOND FLOOR DECKS SHALL BE TREATED DECAY RESISTANT LUMBER. VERIFY RAILINGS AND BALLUSTER MATERIALS WITH OWNER. RAILINGS TO WITHSTAND 200# LOAD APPLIED IN ANY DIRECTION. BALLUSTERS DESIGNED TO PREVENT PASSAGE OF OBJECT 4" IN DIAMETER.
- SEE DETAIL AT TUB OR SHOWER. ASSURE 1 HOUR RATING AT WALLS AND SECOND FLOOR BY INSTALLING FIRE RATED GYP. BD. AT WALLS OR PLYWOOD SHEATHING PER UL L550.
- NO OPENINGS AROUND PIPE, ELECTRIC BOXES, CONDUITS, DUCTS OR OTHER PENETRATING ITEMS THROUGH A FIRE-PROTECTIVE MEMBRANE (EITHER GYP. BD. OR SHEATHING) SHALL BE MORE THAN 1/2". IF MORE THAN 1/2", SEAL ALL OPENINGS WITH A FIRE-STOP PRODUCT OR DEVICE THAT IS TESTED AND LISTED BY AN APPROVED TESTING LAB UNDER ASTM E814. ELECTRICAL BOXES MUST BE CLASSIFIED FOR FIRE RESISTANCE OR "METALIC OUTLET BOXES THAT ARE LISTED BY AN APPROVED TESTING LABORATORY. BOXES MUST NOT BE MORE THAN 16 SQ. IN. DO NOT INSTALL ON OPPOSITE SIDES OF WALLS. SPACE BOXES 24" MIN. HORIZONTALLY ON OPPOSITE SIDES OF WALLS. TOTAL AGGREGATE OF ALL SUCH OPENINGS SHALL NOT EXCEED 100 SQ. IN.

- INSULATION CONTRACTOR SHALL SUPPLY A SIGNED AND DATED CERTIFICATION FOR THE INSULATION INSTALLED IN EACH ELEMENT, LISTING THE TYPES INSULATION INSTALLATIONS IN ROOF/CEILING, THE MANUFACTURER AND THE R-VALUE. FOR BLOWN INSULATION, THE INSTALLER SHALL ALSO PROVIDE THE INITIAL INSTALLED THICKNESS, THE SETTLED THICKNESS, THE COVERAGE AREA, AND THE NUMBER OF BAGS INSTALLED. POST THE FINAL CERTIFICATE ON SITE.

## FIRE ALARM SYSTEM NOTES:

- VERIFY ALL LOCAL AND STATE REQUIREMENTS.
- EACH LIVING UNIT SHALL HAVE A FIRE ALARM STATION LOCATED AT THE EXIT OF THE UNIT ON FIRST FLOOR AND AT THE TOP OF THE STAIRS AT SECOND FLOOR UNITS AND A HORN LOCATED IN HALL BY BEDROOMS.
- ALL SMOKE DETECTORS SHALL BE DIRECTLY AND PERMANENTLY WIRED TO A PROPER UNSWITCHED CIRCUIT AND BE PROVIDED WITH A BACKUP POWER SOURCE.
- ALL SMOKE DETECTORS SHALL BE LOCATED IN HALL 6" BEDROOM DOOR AND IN EACH BEDROOM.
- SMOKE DETECTORS SHALL BE LOCATED IN THE UTILITY ROOM AND SHALL BE WIRED TO AN UNSWITCHED CIRCUIT W/ EMERGENCY POWER BACKUP.

## ELECTRICAL NOTES:

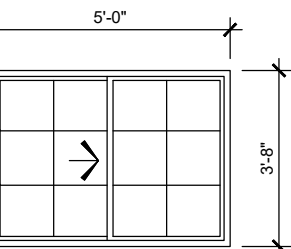
- ELECTRICAL DESIGNER / CONTRACTOR SHALL PROVIDE HIGH EFFICIENCY LAMPS IN A MINIMUM OF 50% OF THE FIXTURES PER IECC 404.1.

## ROOM SCHEDULE

| NAME           | WALL                      | BASE | FLOOR         | CEILING                   |
|----------------|---------------------------|------|---------------|---------------------------|
| FOYER          | TEXTURED PAINT ON DRYWALL | WOOD | WOOD LAMINATE | TEXTURED PAINT ON DRYWALL |
| LIVING         | TEXTURED PAINT ON DRYWALL | WOOD | CARPET        | TEXTURED PAINT ON DRYWALL |
| KITCHEN        | TEXTURED PAINT ON DRYWALL | WOOD | VINYL         | TEXTURED PAINT ON DRYWALL |
| DINETTE        | TEXTURED PAINT ON DRYWALL | WOOD | CARPET        | TEXTURED PAINT ON DRYWALL |
| HALL           | TEXTURED PAINT ON DRYWALL | WOOD | CARPET        | TEXTURED PAINT ON DRYWALL |
| BEDROOM        | TEXTURED PAINT ON DRYWALL | WOOD | CARPET        | TEXTURED PAINT ON DRYWALL |
| BATH           | TEXTURED PAINT ON DRYWALL | WOOD | VINYL         | TEXTURED PAINT ON DRYWALL |
| MASTER BEDROOM | TEXTURED PAINT ON DRYWALL | WOOD | CARPET        | TEXTURED PAINT ON DRYWALL |
| MASTER BATH    | TEXTURED PAINT ON DRYWALL | WOOD | VINYL         | TEXTURED PAINT ON DRYWALL |
| LAUNDRY        | TEXTURED PAINT ON DRYWALL | WOOD | VINYL         | TEXTURED PAINT ON DRYWALL |
| CLOSET         | TEXTURED PAINT ON DRYWALL | WOOD | CARPET        | TEXTURED PAINT ON DRYWALL |
| HVAC           | TEXTURED PAINT ON DRYWALL | NONE | NONE          | TEXTURED PAINT ON DRYWALL |

## WINDOW SCHEDULE

| MARK               | UNIT (S) | ROUGH OPENING            | GLAZING            | REMARKS                               | U-VALUE | REMARKS |
|--------------------|----------|--------------------------|--------------------|---------------------------------------|---------|---------|
| (V)<br>SLIDER 5038 |          | 60 3/4" X 44 1/2" VERIFY | LOW "E" INSUL. GL. | UPPER SASH GRILLES & SCREENS REQUIRED | 0.25    | 0.21    |



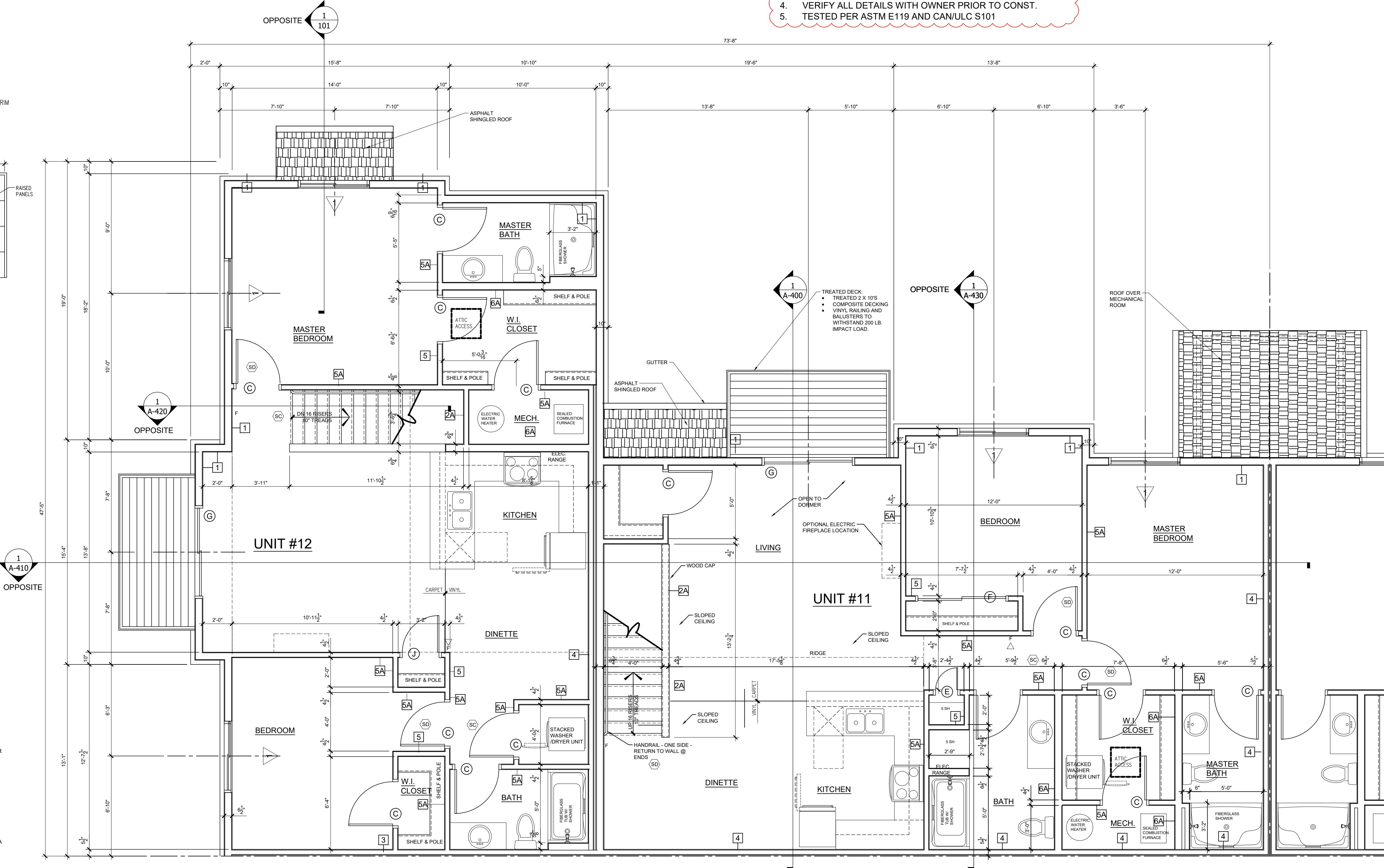
TYPE 1

## WINDOW AND SLIDING DOOR NOTES:

- WINDOW AND PATIO DOOR SIZES ARE BASED ON UNIT MANUFACTURED BY "QUAKER - MANCHESTER SERIES". LOW "E" INSULATING GLASS. PROVIDE GRILLE PATTERN AS SHOWN. ALL WINDOWS AND DOORS COMPLY WITH EGRESS REQUIREMENTS AND ACCESSIBILITY CLEAR OPENING SIZE.
- COLOR SHALL BE SELECTED FROM MANUFACTURES STANDARD INDEX AND SHALL BE VERIFIED WITH OWNER.
- WINDOW DATA BASED ON QUAKER WINDOWS. ANY SUBSTITUTIONS SHALL BE VERIFIED WITH ARCHITECT AND COMPLY WITH IBC CHAPTER 12.
- \* DENOTES CLEAR OPENING FOR (1) SLIDING PORTION OF WINDOW UNIT IN OPENED POSITION.
- \*\* DENOTES CLEAR OPENING FOR BOTH SLIDING AND STATIONARY PANEL IN EITHER WINDOW OR DOOR.
- WINDOWS SHALL BE COMPLIANT WITH ONE OF THE PROTECTION METHODS PER IBC 1015.8. IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LESS THAN 36" ABOVE THE FINISH FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE.

## 1 HR FIRE RATED ATTIC ACCESS HATCHES:

- ALL HATCHES IN 1 HR RATED CEILING ASSEMBLIES SHALL BE "BEST ACCESS DOORS" OR EQUAL.
- 22" X 36" - 2 LOCKS.
- RATED FOR 1 HOUR IN COMBUSTIBLE CONSTRUCTION.
- VERIFY ALL DETAILS WITH OWNER PRIOR TO CONST.
- TESTED PER ASTM E119 AND CAN/ULC S101.



## 1 ENLARGED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

## PLAN CONDITIONALLY APPROVED

No Variation of this Plan is Permitted without the Approval of E-Plan Exam and the Municipal Building Inspection Department. See Plan Review Letter and/or Permit for additional conditions that must be addressed during construction prior to inspection.

Review Type: Building &amp; Structure Review Only.

Approved By: John J. Cunningham Date: 09/15/2022

LLOYD CARPENTER  
ARCHITECT

## ARCHITECTURAL SERVICES

2663 Maple Hills Drive  
Green Bay, Wisconsin 54313  
920.655.3829  
carp.arch@gmail.com

## REVISION/ISSUE

| No. | DATE | DESCRIPTION |
|-----|------|-------------|
| 1   |      |             |
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PROPOSED 12 UNIT APARTMENT BUILDING FOR:  
**NICOLET LUMBER CO.**  
EAGLE RIVER, WISCONSIN

PROJECT:

DESIGNED BY: LCA

APPROVED BY: LCA

DATE: 9-8-22

SCALE: AS SHOWN

JOB NUMBER

TITLE  
ENLARGED  
SECOND FLR. PLAN

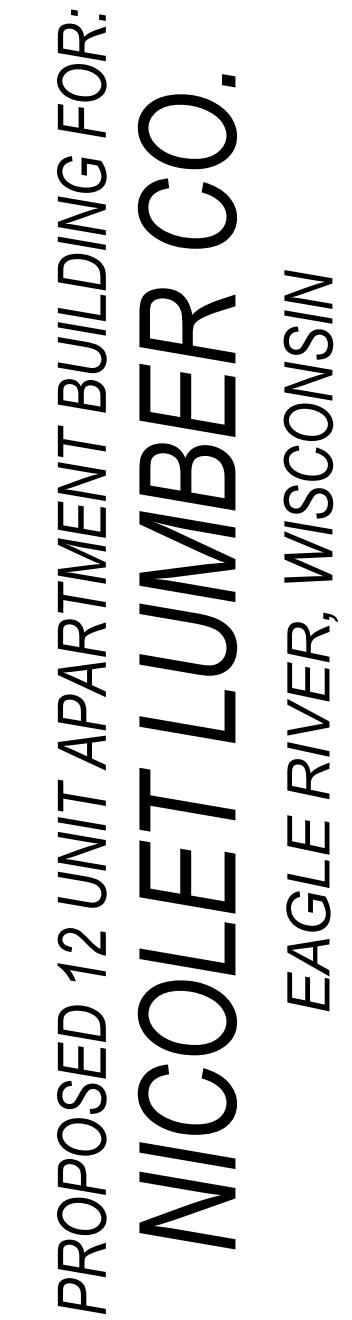
WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER  
SCALED DIMENSIONS.  
CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR ALL  
DIMENSIONS AND CONDITIONS ON THE JOB. THIS OFFICE MUST  
BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND  
CONDITIONS SHOWN BY THESE DRAWINGS.

A230





2663 Maple Hills Drive  
Green Bay, Wisconsin 54313  
920.655.3829  
carp.arch@gmail.com

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JOB NUMBER

BUILDING ELEVATIONS

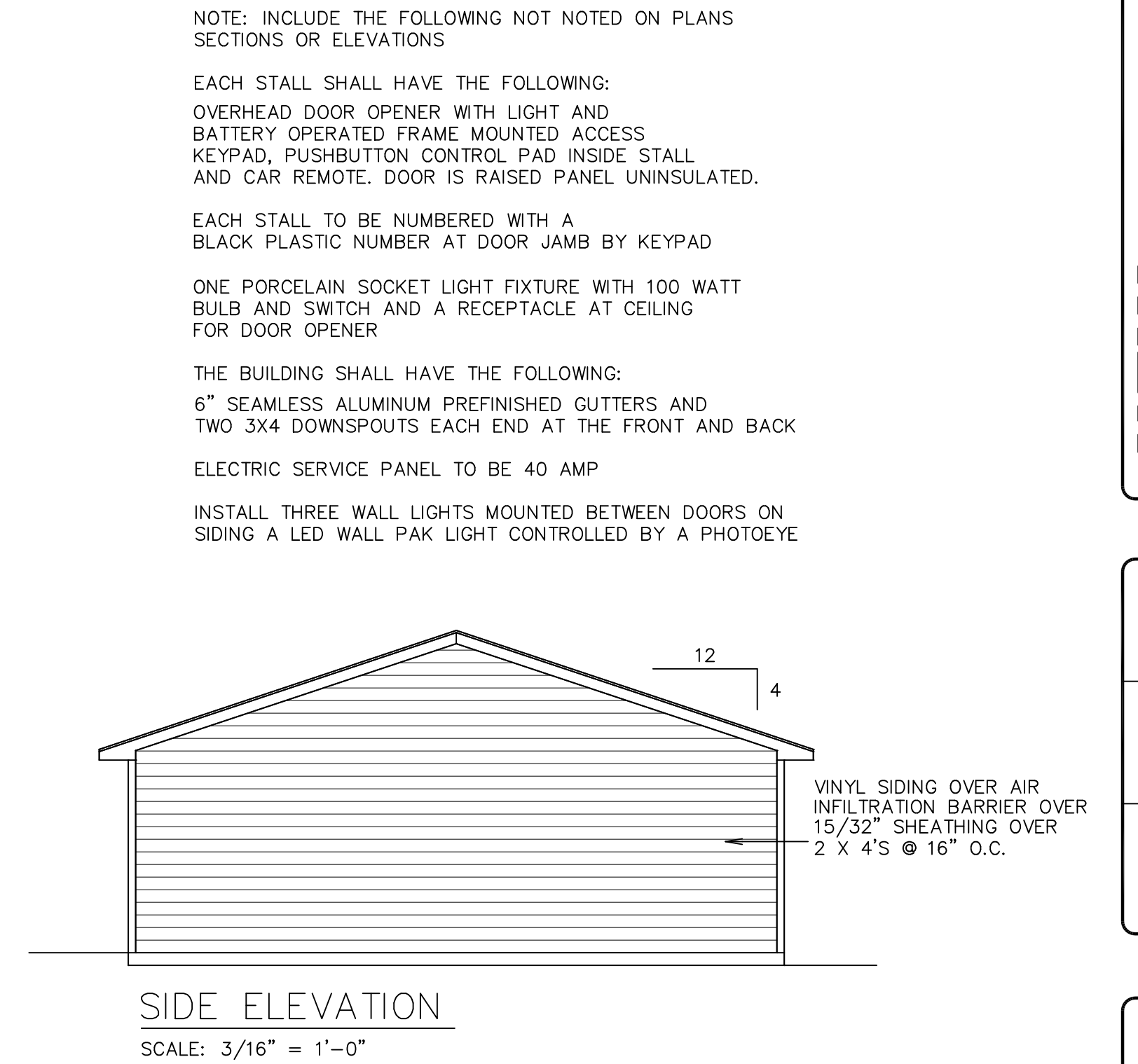
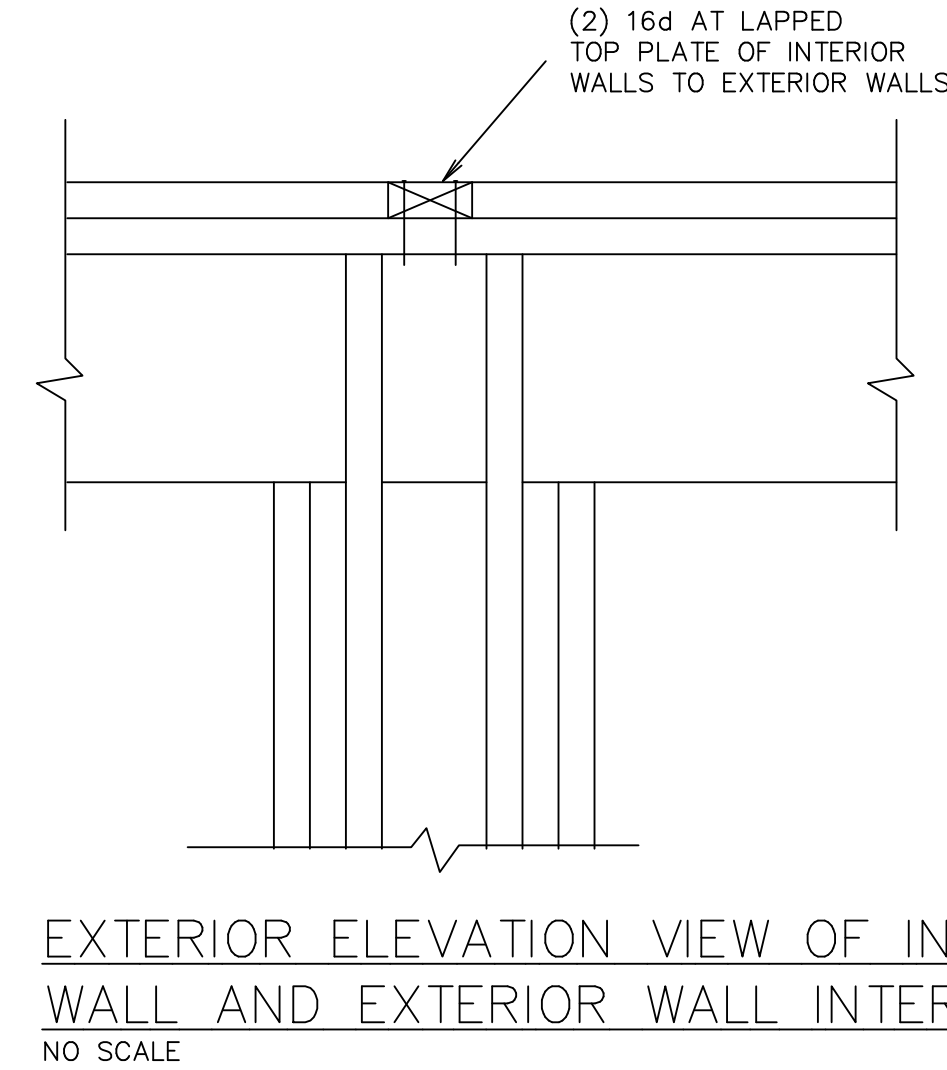
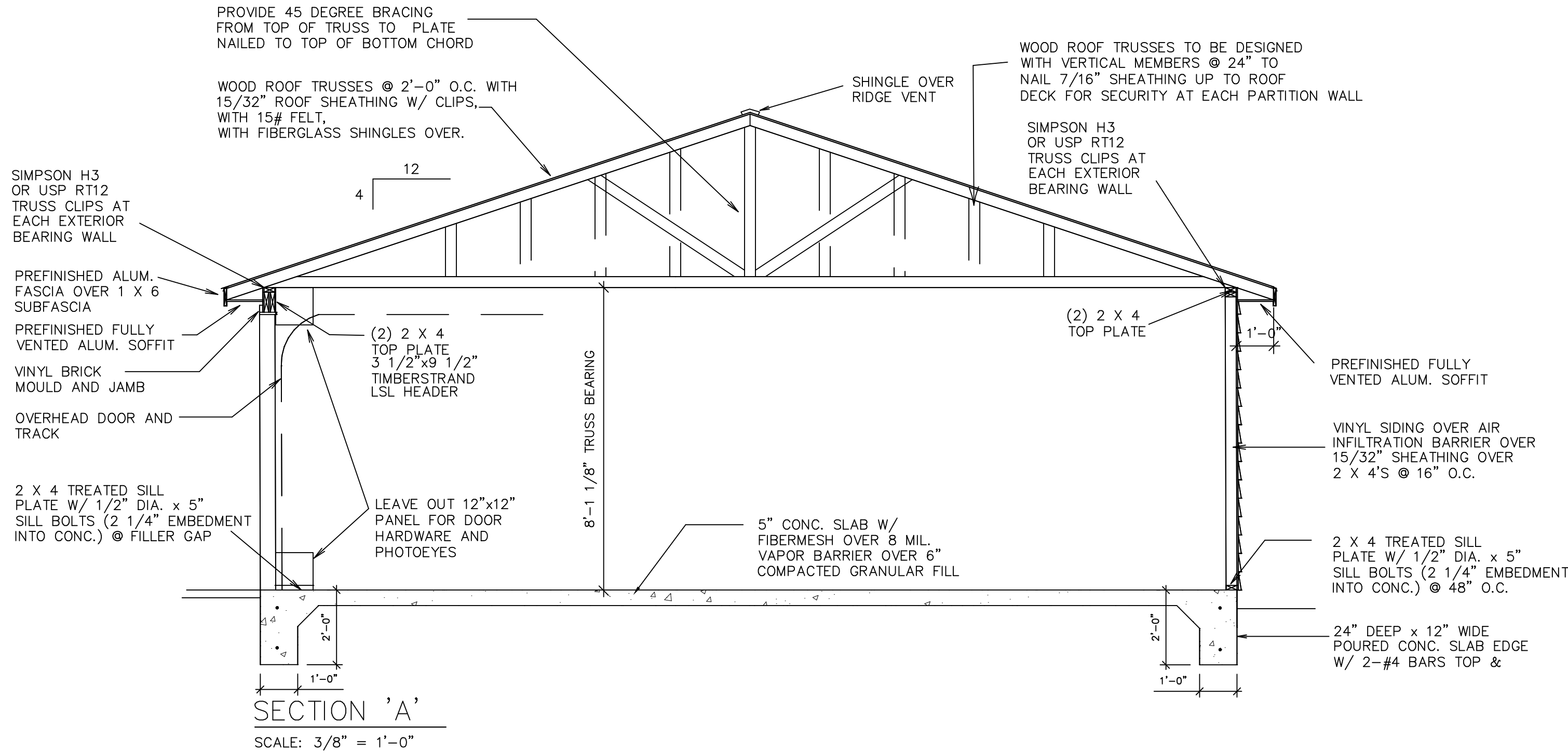
TRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

# A300









CAREFULLY REVIEW TRUSS CALC SHEETS FOR LATERAL BRACING LOCATIONS AND FOR BEARING BLOCKS IF LOAD EXCEEDS 2200 POUNDS FOR BEARING ON SPF TOP PLATES WOOD TRUSS SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO FABRICATION. TRUSS TO TRUSS CONNECTIONS SHALL BE DESIGNED BY THE TRUSS SUPPLIER AND SHALL BE CLEARLY SHOWN ON THE ERECTION PLANS. SHOP DRAWINGS SHALL BEAR THE STAMP OF AN ENGINEER LICENSED IN THE STATE OF WISCONSIN

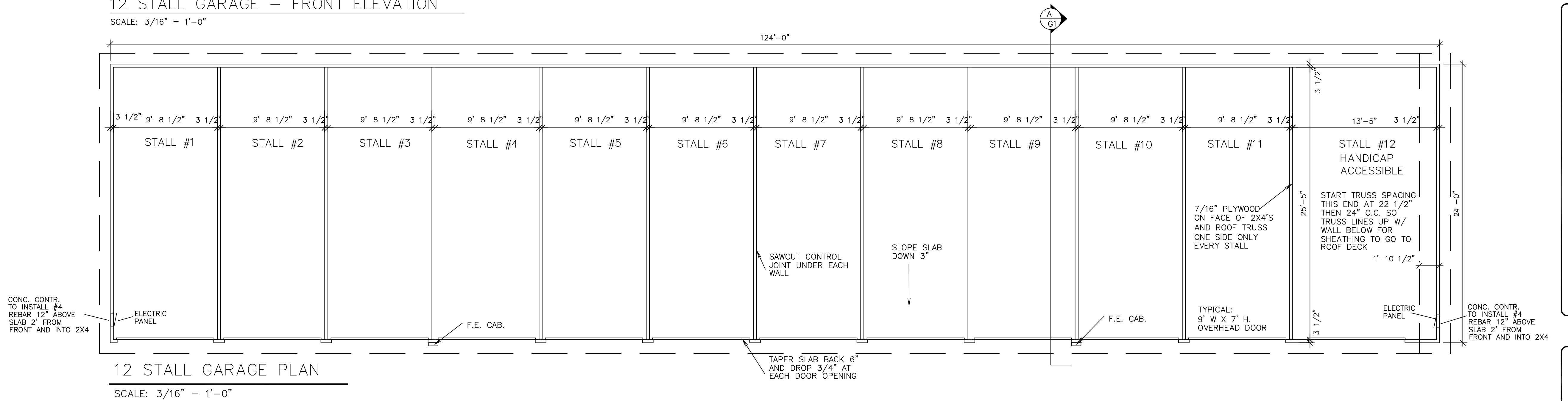
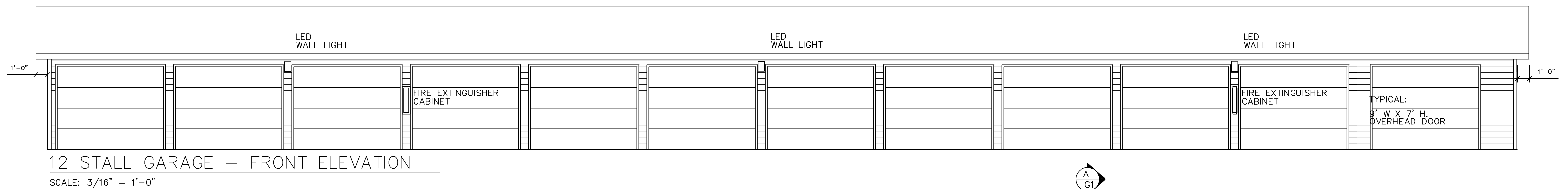
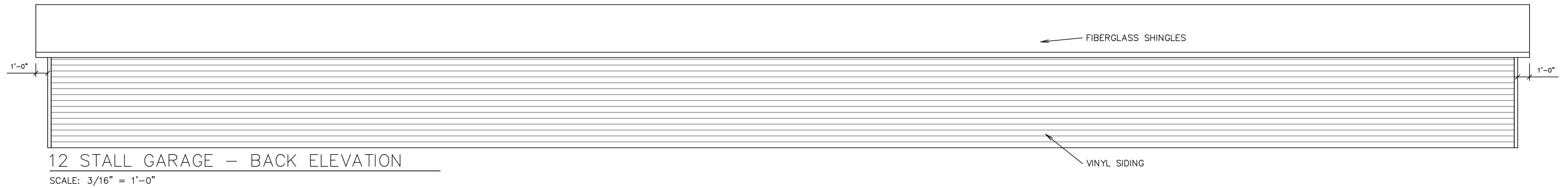
PRE-ENGINEERED WOOD ROOF TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING CRITERIA:

DEAD LOADS:  
TOP CHORD = 10 PSF  
BOTTOM CHORD = 10 PSF

LIVE LOADS:  
TOP CHORD = 46.2 PSF (BALANCED SNOW)

DEFLECTION (LIVE LOAD) - SPAN/240

SNOW LOADS: GROUND SNOW LOAD 60 PSF  
EXPOSURE FACTOR Ce: 1.0  
TEMP. FACTOR Ct: 1.0  
IMPORTANCE FACTOR: 1.0



4227 PITCO ROAD  
Green Bay, Wisconsin 54313  
PHONE 920-865-1719  
FAX 920-865-1720

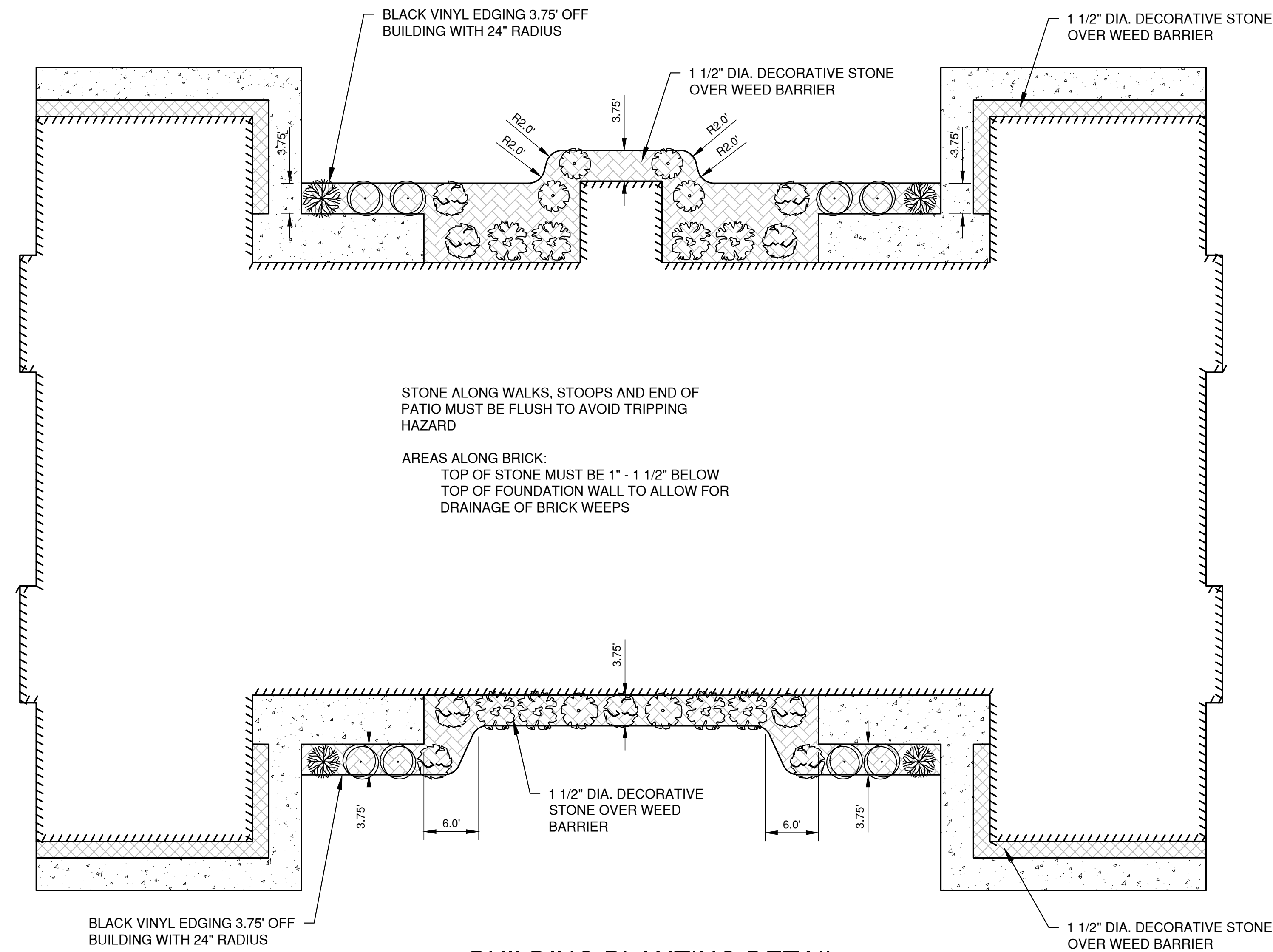
**NEW**  
ARCHITECTURE, INC.

| JOB NO. | DATE    | REVISED |
|---------|---------|---------|
| 2017-06 | 11/6/17 |         |

RASPBERRY LANE APARTMENTS  
FOR PREMIER REAL ESTATE MANAGEMENT  
CITY OF EAGLE RIVER, WISCONSIN

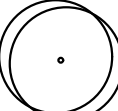




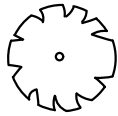
12 STALL GARAGE  
FLOOR PLAN, SECTION,  
EXTERIOR ELEVATION

**G1**



## BUILDING PLANTING DETAIL

## LEGEND

| SYMBOL  | SPECIES                       |                                | PLANT SIZE |
|---|-------------------------------|--------------------------------|------------|
|   | COMMON NAME                   | SCIENTIFIC NAME                |            |
|  | SPIREA - GLOW GIRL BIRCH LEAF | SPIRAEA BEGULIFOLIA            | #5 18"     |
|  | WEIGELA - DARK HORSE          | WEIGELA FLORIDA 'DARK HORSE'   | #5 18"     |
|  | BLUE SAGE                     | SALVIA AZUREA                  | #1         |
|  | VIBURNUM - AUTUMN JOY         | VIBURNUM DENTATUM 'AUTUMN JOY' | #5 18"     |
|  | BARBERRY                      | BERBERIS VULGARIS              | #5 18"     |
|  | NINEBARK - LITTLE DEVIL       | PHYSOCARPUS OPULIFOLIUS        | #5 18"     |

[illegible]



**Board of Directors:**

Danielle Mazur - President  
 Dan Dumas – VP & Appt'd Alderman  
 Jeremy Oberlander -Treasurer  
 Sarah Zidek - Secretary  
 Melissa Hopkins Tina Aeillo  
 Terry Lyon Kevin Eckes  
 Andy Lichtfuss

**ExOfficio Directors:**

Robin Ginner Vito Bortolotti  
 Kim Emerson Kathy Schmitz  
 WCAC-ED

**Executive Director:**

Karen Margelofsky, Cell: (715) 522-0900  
 karen@eagleriverrevitalization.org

## Proposal for Expansion Project at Eagle River Farmers Market

To: Eagle River Planning Commission & City Council  
 From: Eagle River Revitalization Program – Karen Margelofsky, Executive Director  
 Date: February 19, 2025  
 Subject: Revised Proposal for Expansion Project at Eagle River Farmers Market

**Introduction**

The Eagle River Farmers Market has become a vital community hub, providing a space for local farmers, artisans, and food vendors to engage with residents and visitors alike. To continue supporting the growth and success of the market, we propose an expansion project aimed at enhancing the infrastructure and facilities available at the site. This project seeks to improve the market's functionality, increase vendor capacity, and ensure a safe and welcoming environment for all participants.

**Project Overview**

The proposed expansion includes the following key elements:

**1) Electrical Service Installation:**

- Install a new electrical service with a main panel to be located inside the newly proposed shed which will be located approximately where the current Farmers Market sign is located.
- Weather-tight panel board with food truck services at the north end of the market, near the fire hydrant.
- Weather-tight food truck electrical hookup between the current sign/new shed and the north panel.
- Traditional weather-tight electrical hookups on both sides of the new shed.
- Traditional weather-tight electrical hookup pedestal approx. where current shed is located.
- Move the sign to the area at the end of Ohio Street and mount weather-tight electrical hookups on posts.
- Another traditional weather-tight electrical hookup pedestal south of the sign in line with the other pedestals.

*A 501c3 non-profit organization, FEIN 39-1970671*  
 525 E. Maple Street, PO Box 2302 ~ Eagle River, WI 54521  
 Office: (715) 477-0645 | EagleRiverRevitalization.org

### Board of Directors:

Danielle Mazur - President  
Dan Dumas – VP & Appt'd Alderman  
Jeremy Oberlander -Treasurer  
Sarah Zidek - Secretary  
Melissa Hopkins Tina Aeillo  
Terry Lyon Kevin Eckes  
Andy Lichtfuss



### ExOfficio Directors:

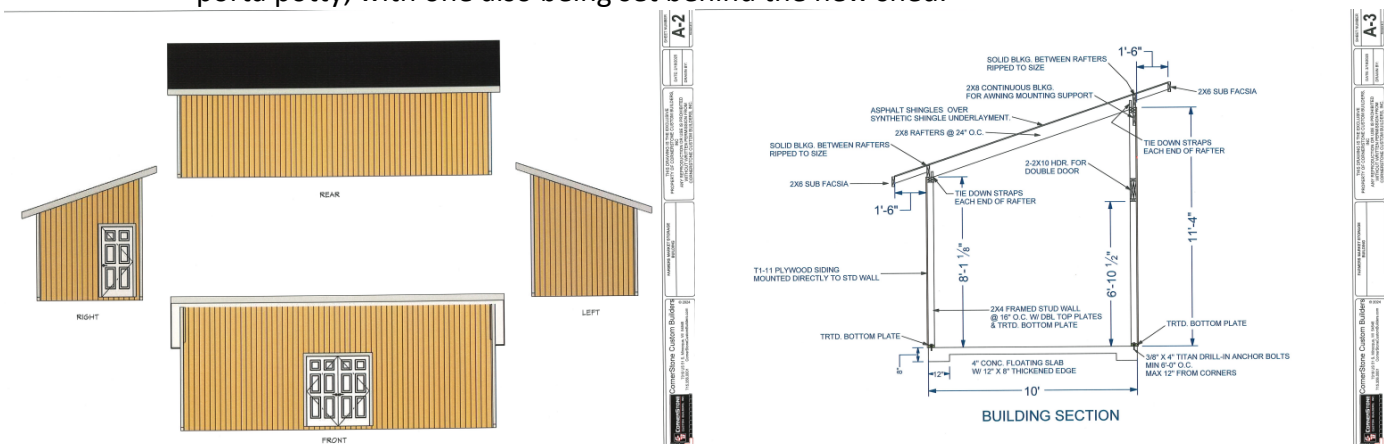
Robin Ginner Vito Bortolotti  
Kim Emerson Kathy Schmitz  
WCAC-ED

### Executive Director:

Karen Margelofsky, Cell: (715) 522-0900  
karen@eagleriverrevitalization.org

## 2) Construction of a New Permanent Shed:

- Dimensions and Location:** A new permanent 10' x 30' shed to be built 35' from the center line of Michigan Street (30' right of way, 5' set back). The 30' side would face Michigan & Hwy 45 with the 10' sides facing the north and south. Shed will be installed on a cement pad.
- Electrical Installation:** The shed will be equipped with the meter & panel to manage electrical needs.
- Water Hookup:** A water hookup will be installed on the shed for sanitation and operational purposes.
- Porta-Potties:** We would like to request the current sign be moved to the end of Ohio Street (proper set backs onto the farmers market lot) for electrical hookup and to enclose a second porta potty, with one also being set behind the new shed.



## Project Justification

The expansion of the electrical infrastructure is crucial to accommodate the increasing demand from food trucks and other vendors requiring reliable power sources. The strategic placement of electrical hookups and panels will allow for efficient vendor setup and operation, reducing potential hazards associated with temporary power solutions.

The construction of a new shed, equipped with an electrical panel and water hookup, will provide additional storage and operational space for market activities. The areas (moving the sign & behind the shed) for a porta potty and dumpster will enhance the overall hygiene and aesthetic appeal of the market, addressing both vendor and visitor needs.

## Benefits to the Community

- **Enhanced Vendor Capacity:** The expanded infrastructure will support a greater number of vendors, particularly food trucks, which are a popular attraction at the market.

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525 E. Maple Street, PO Box 2302 ~ Eagle River, WI 54521  
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 WCAC-ED

**Executive Director:**

Karen Margelofsky, Cell: (715) 522-0900  
 karen@eagleriverrevitalization.org

- **Improved Safety and Convenience:** Permanent electrical hookups and water services will minimize the need for temporary and potentially unsafe setups.
- **Increased Site Attractiveness:** The new shed and enclosed utility area will contribute to a more organized and professional market environment, attracting more users and potential winter season use with the SnoEagles Club.
- **Sustainable Growth:** The improvements will position the Eagle River Farmers Market for continued growth, making it a more attractive venue for regional events and markets.

**Conclusion**

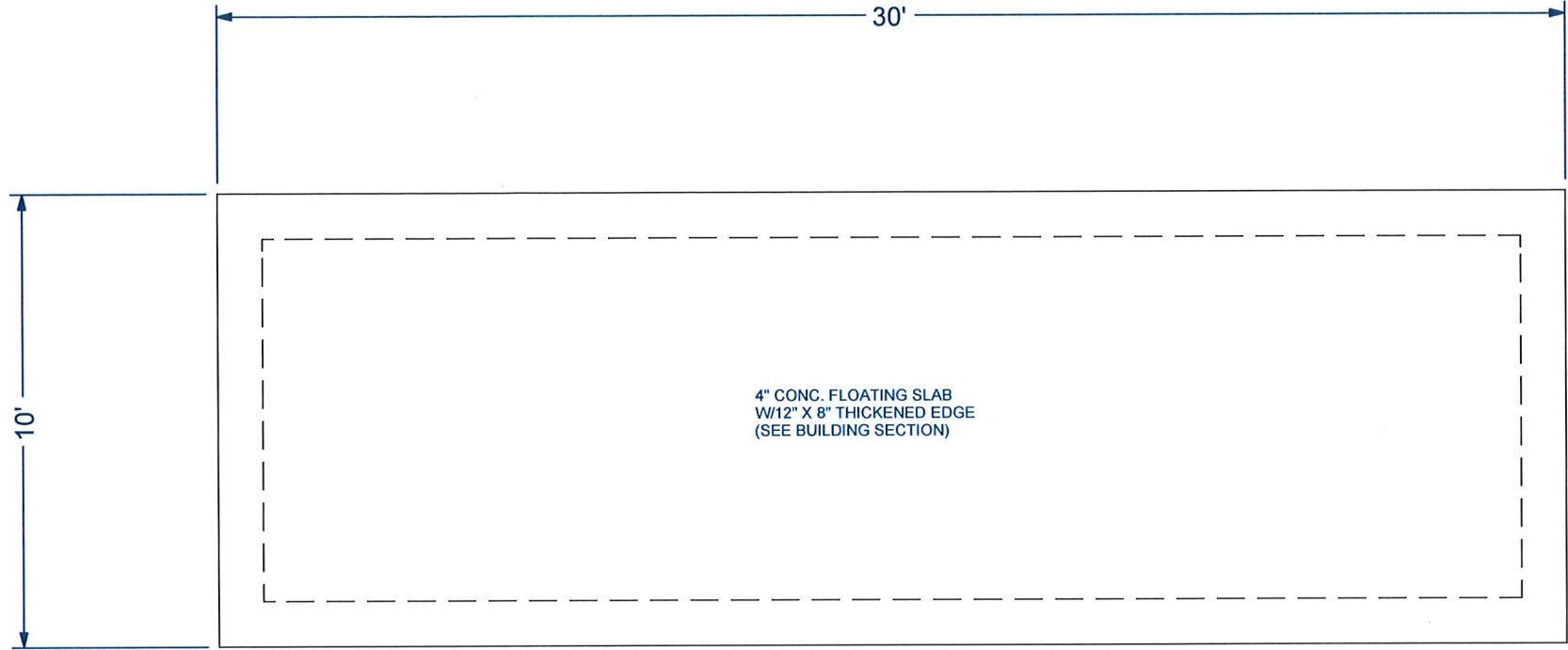
This expansion project is designed to meet the evolving needs of the Eagle River Farmers Market while ensuring safety, convenience, and sustainability. We respectfully request the Eagle River Planning Commission's approval to proceed with the proposed revised enhancements, which we believe will significantly benefit both the market and the broader community.

Thank you for your consideration.

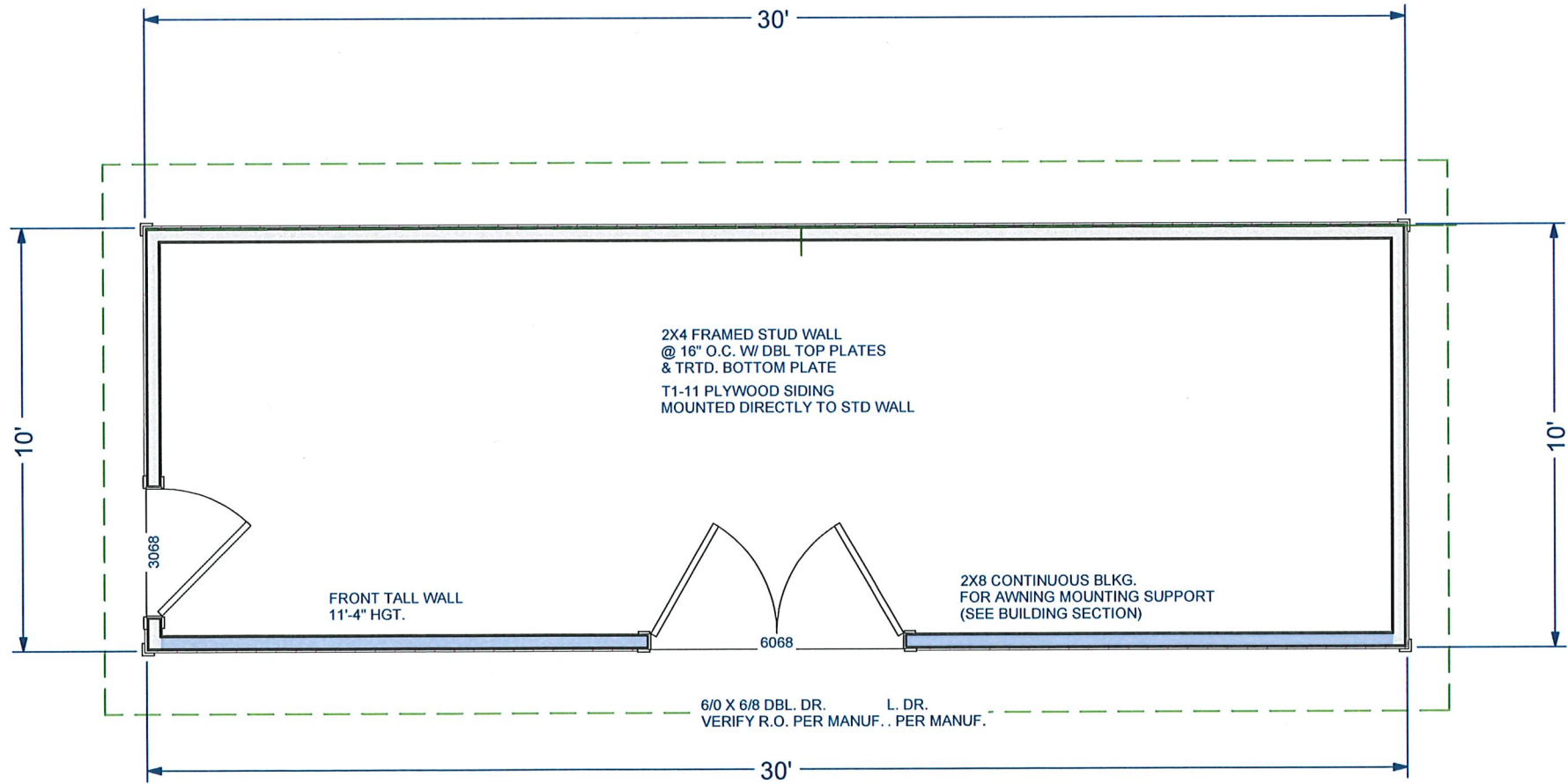
Sincerely,

Karen Margelofsky  
 Executive Director/Market Manager  
 Eagle River Revitalization Program, Inc.  
 715-477-0645





FLOATING SLAB PLAN



CornerStone Custom Builders  
7319 US 51 S, Minocqua, WI 54548  
715.356.0001 CornerStoneCustomBuilders.com  
© 2024

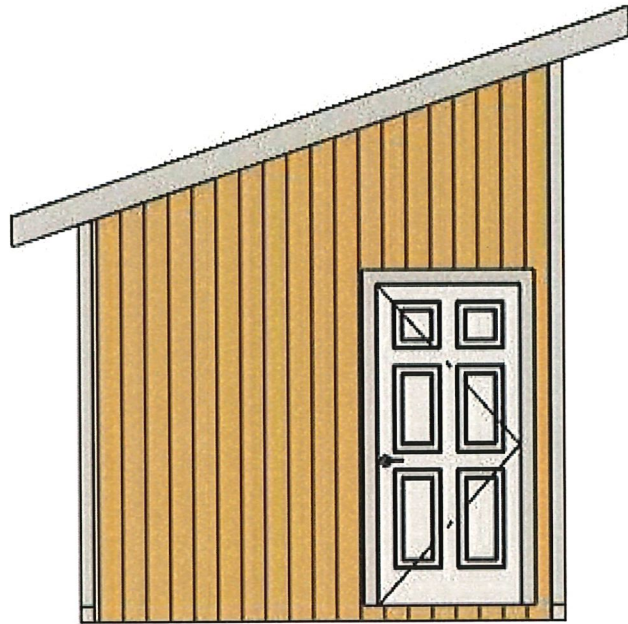
FARMERS MARKET STORAGE  
BUILDING

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INC  
ANY REPRODUCTION OR USE IS PROHIBITED  
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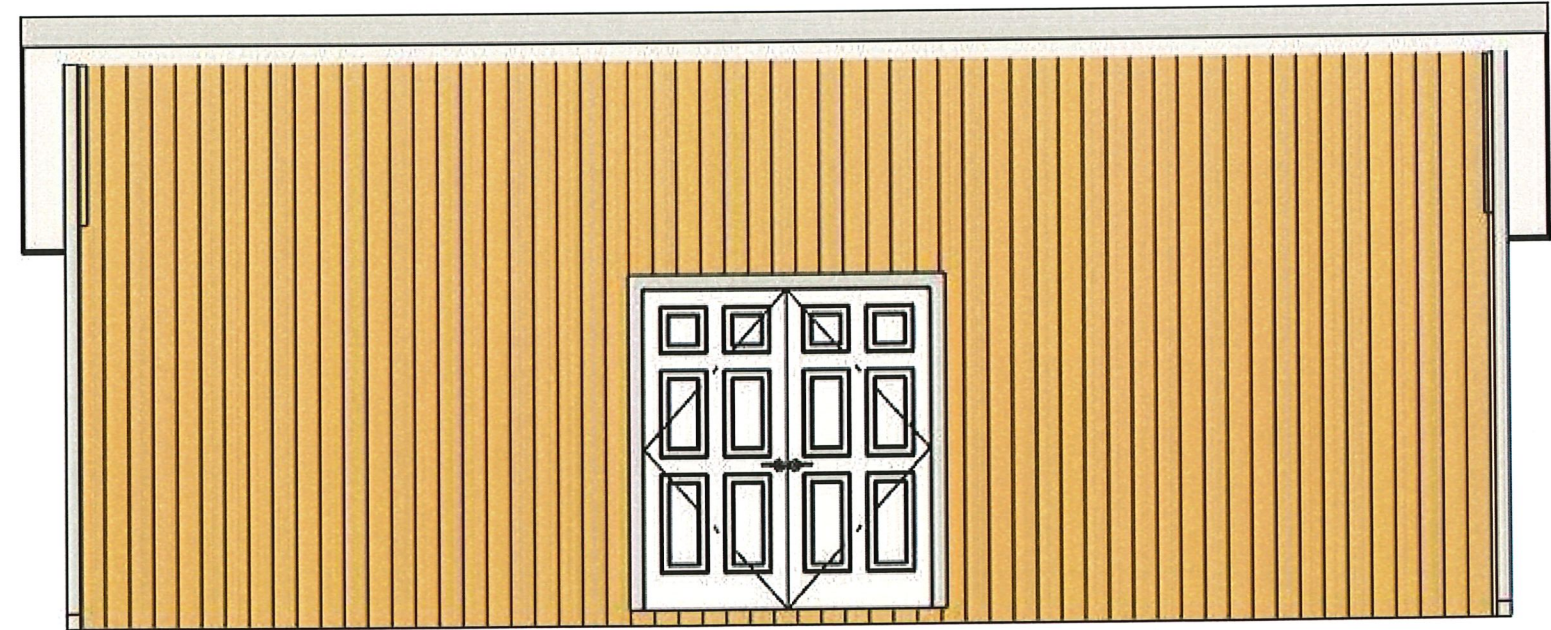
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Revision # 3

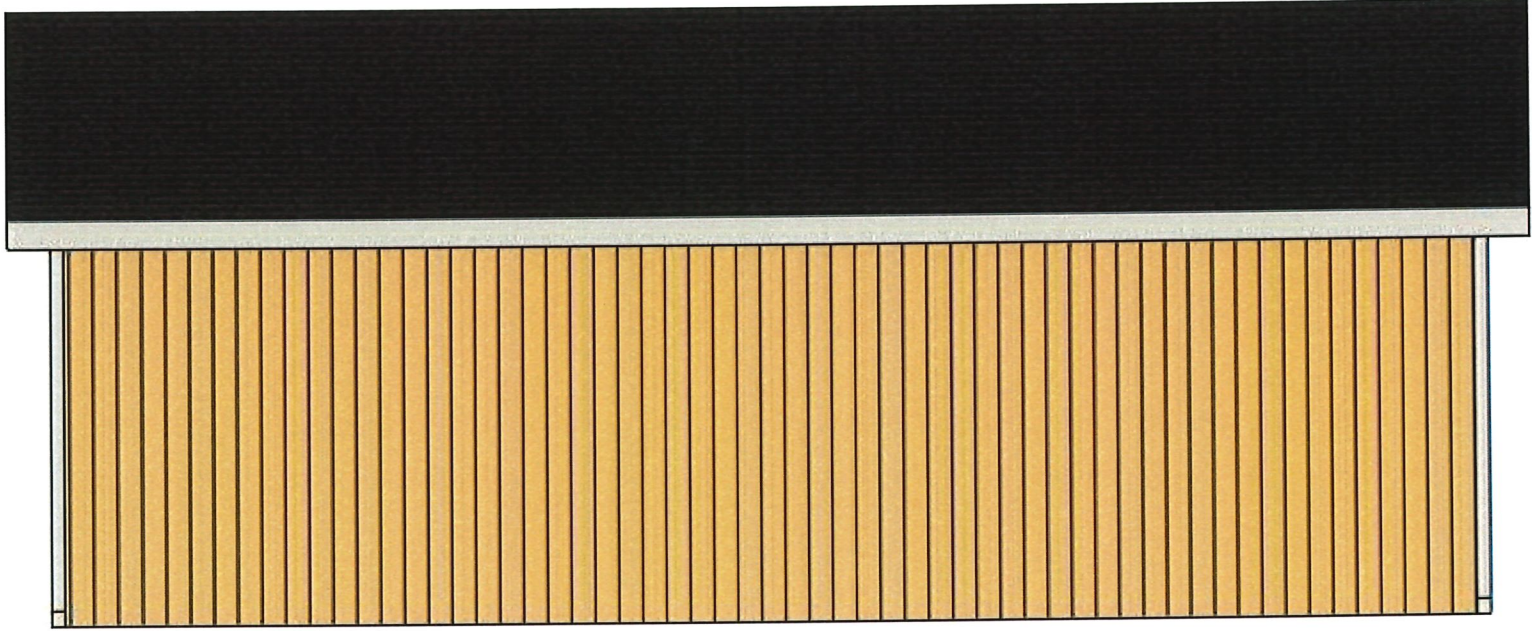




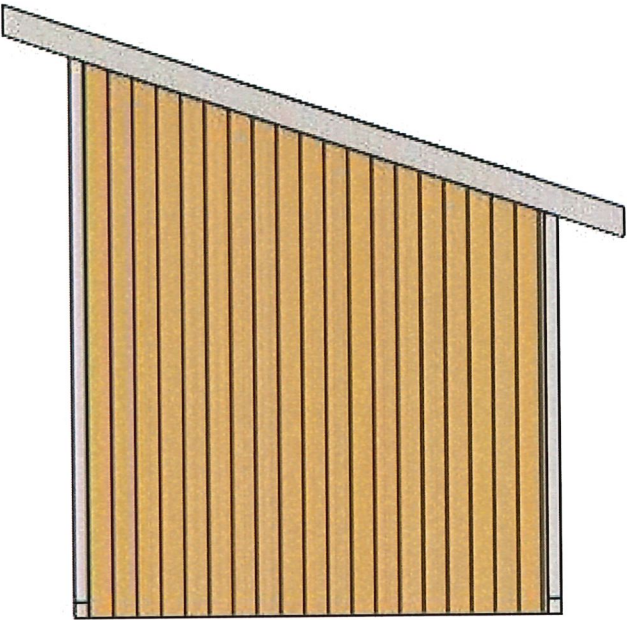
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CornerStone Custom Builders  
7319 US 51 S, Minocqua, WI 54548  
715.356.0001 CornerStoneCustomBuilders.com

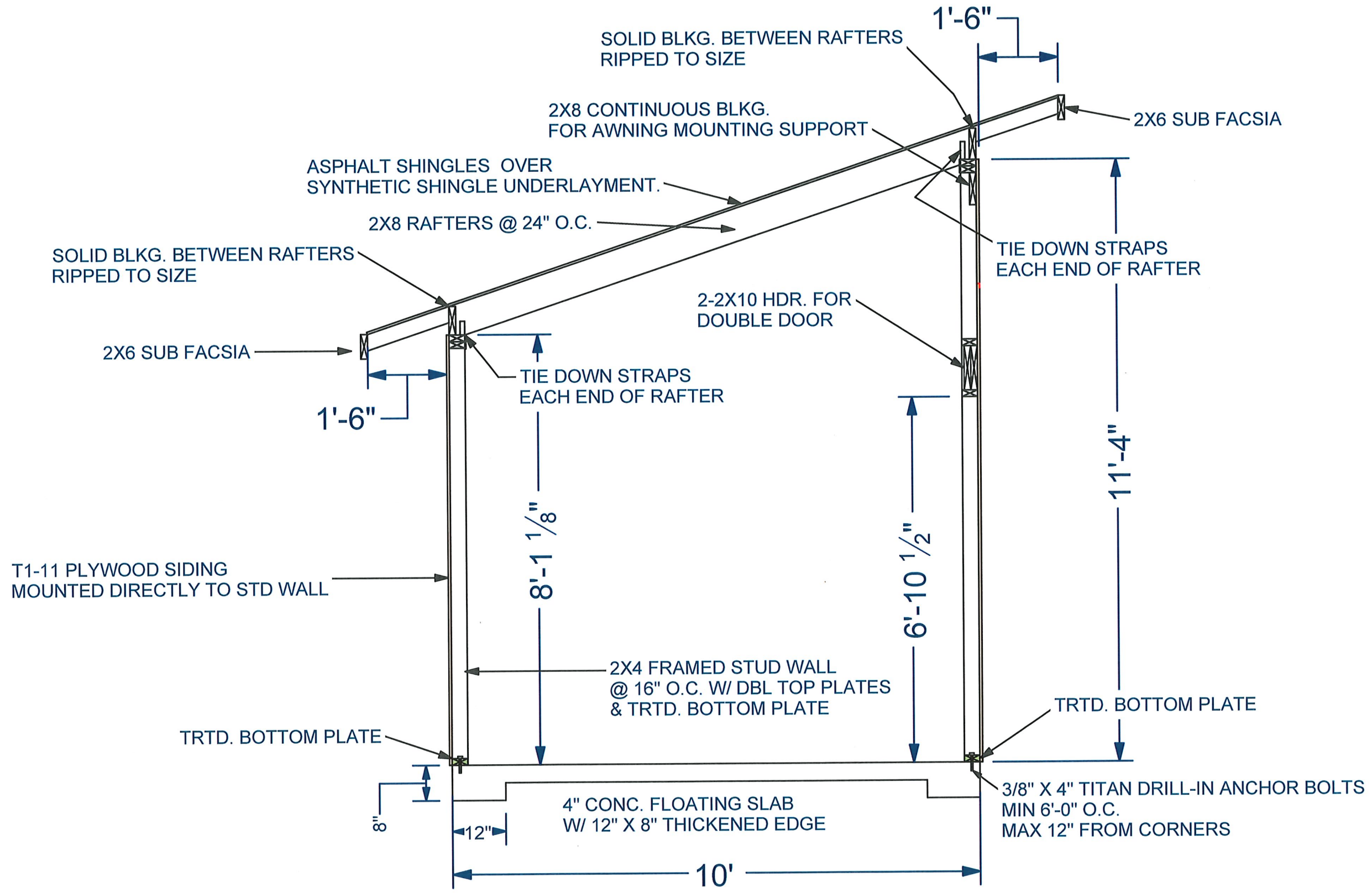
FARMERS MARKET STORAGE  
BUILDING

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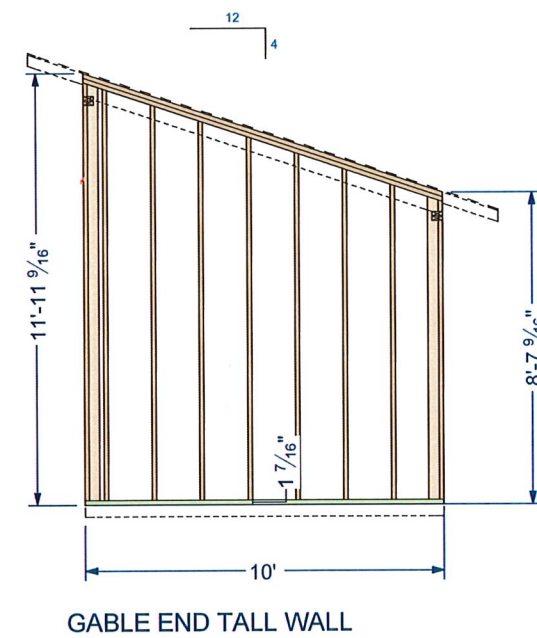
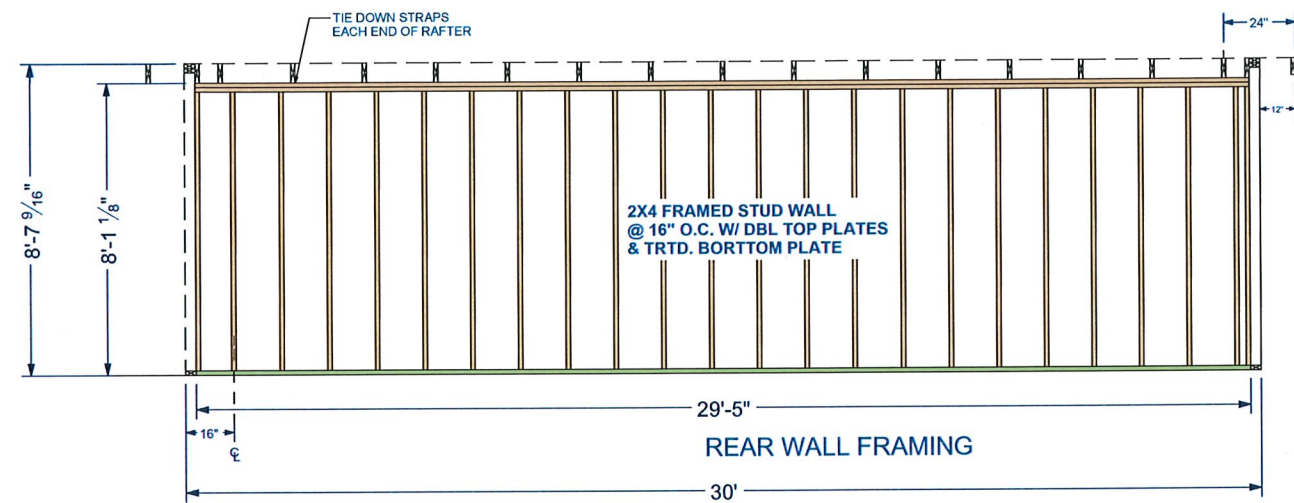
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SHEET NUMBER  
**A-2**  
Revision # 3





**BUILDING SECTION**





ILLINOIS ST.

OHIO ST.

MICHIGAN ST. (CAN ONLY PARK ON THE EAST SIDE)



MILL ST.

HWY 45 (NO PARKING)

MARKET DAY



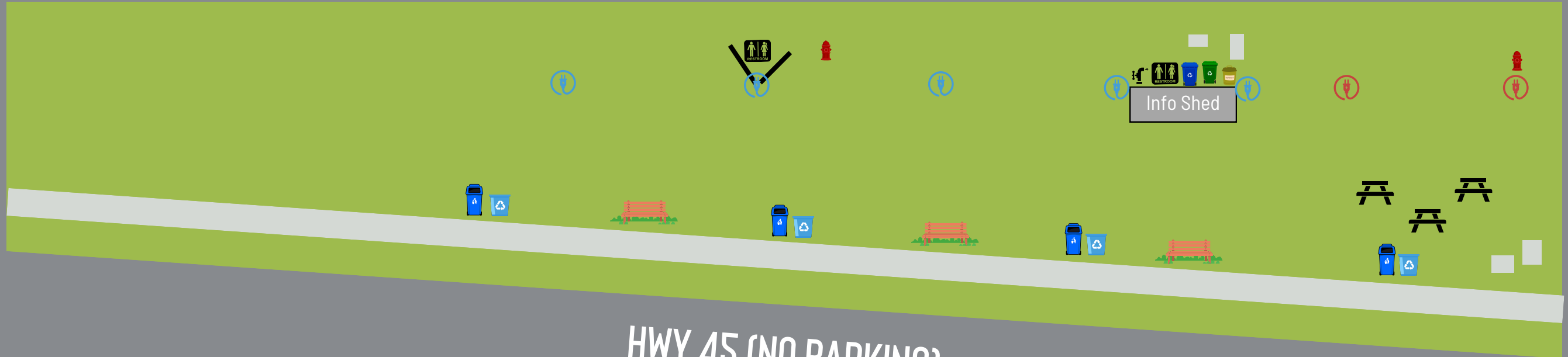
OHIO ST.

MICHIGAN ST. (CAN ONLY PARK ON THE EAST SIDE)



ILLINOIS ST.

MILL ST.



HWY 45 (NO PARKING)

NON MARKET DAY



Parcel ID: 221-457



Zoom to

### Ascent Systems

[Permits](#) | [Land Records](#)

### Zoning

Single-Family Residential

### Site Address

N/A

### Owner / Mailing Info

CITY OF EAGLE RIVER  
PO BOX 1269  
EAGLE RIVER, WI 54521

### Source Maps

*\*research more survey information using the online [survey index](#).*

### View in other maps:

[Address](#) | [Imagery](#) | [PLSS](#) | [Recreation](#) | [Tax Parcel](#) | [Voting](#)





## **DRAFT ORDINANCE COPY FOR DISCUSSION PURPOSES ONLY.**

### **ORDINANCE NO. XXX**

#### **AN ORDINANCE OF THE CITY OF EAGLE RIVER TO AMEND THE SINGLE-FAMILY RESIDENTIAL ZONING ORDINANCE TO ALLOW SUPPLEMENTAL HOUSING STRUCTURES BY CONDITIONAL USE GRANT**

**WHEREAS**, the City of Eagle River seeks to expand housing opportunities while maintaining the character of single-family residential neighborhoods; and

**WHEREAS**, supplemental housing structures can provide affordable housing options, multigenerational living opportunities, and efficient use of existing infrastructure; and

**WHEREAS**, the City Council desires to implement regulations that ensure compatibility with existing neighborhoods and provide oversight through a conditional use grant process;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF EAGLE RIVER AS FOLLOWS:**

#### **Section 1. Amendment to Single-Family Residential Zoning Code**

The City's Zoning Ordinance, Section 106-331 THROUGH 106-360, is hereby amended to include the following provisions:

##### **A. Purpose**

The purpose of this ordinance is to permit supplemental housing structures within single-family residential zones while ensuring they align with the character, design, and intended density of these neighborhoods.

##### **B. Definition**

For purposes of this ordinance, "Supplemental Housing Structure" refers to a separate, secondary residential structure located on the same lot as a primary single-family dwelling. Examples include but are not limited to accessory dwelling units (ADUs), guest houses, garage apartments, or in-law suites.

##### **C. Conditional Use Grant Requirements**

###### **1. Application Process**

Property owners seeking to construct a supplemental housing structure must apply for a Conditional Use Grant through the City Zoning Department.

###### **2. Approval Criteria**

The Conditional Use Grant may be issued if the following criteria are met:

- a. The structure complies with all applicable building codes and zoning requirements.
- b. The lot size is sufficient to accommodate both the primary residence and the supplemental housing structure, with a minimum lot size of 7,200 square feet
- c. The structure does not exceed 40% of the primary dwelling's square footage.
- d. The design of the structure is compatible with the primary residence and surrounding neighborhood.
- e. Adequate parking is provided, with at least one off-street parking space designated for the supplemental unit.
- f. Public services, such as water, sewer, and utilities, are adequately available to serve the additional structure.

**Commented [RG1]:** Do we want to increase the minimum lot size, or require a minimum number of feet between structures on the lot?

**3. Conditions of Approval**

The Planning Commission may impose conditions to ensure compatibility with the neighborhood, such as screening, setbacks, height restrictions or other conditions.

**D. Prohibited Uses**

- 1. Supplemental housing structures shall not be used for commercial purposes.
- 2. Supplemental housing structures shall not be used for short-term rental purposes, with short term rental being defined as a period less than 30 consecutive days.
- 3. Supplemental housing structures shall not include recreational vehicles, campers and/or motor homes.
- 4. Structures that do not comply with the conditions outlined in this ordinance shall not be approved.

**Section 2. Severability**

If any section, subsection, sentence, clause, or phrase of this ordinance is for any reason held to be unconstitutional or invalid, such decision shall not affect the validity of the remaining portions of this ordinance.

**Section 3. Effective Date**

This ordinance shall take effect immediately upon its adoption and publication as required by law.

**PASSED AND APPROVED by the City Council of the City of Eagle River on this \_\_\_\_\_ day of \_\_\_\_\_, 2025**

**Mayor:** \_\_\_\_\_

**City Clerk:** \_\_\_\_\_



**STEVEN C. GARBOWICZ  
ATTORNEY AT LAW**

221 S. First Street  
P. O. Box 639  
Eagle River, WI 54521  
715-479-6444 ext. 22  
Fax: 715-479-3021  
[sgarbo@oabglaw.com](mailto:sgarbo@oabglaw.com)

**BRANCH OFFICE**  
Tomahawk, WI 54487  
Telephone: 715-453-6921

January 27, 2025

VIA EMAIL ONLY

Robin Ginner

**Re: Amendment to Single-Family Residential Zoning Ordinance  
For Supplemental Housing**

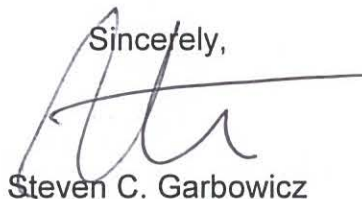
Dear Robin:

I have looked at your proposed amendment and I have two comments. In the definition to supplemental housing I would try to eliminate all RVs or any mobile recreational vehicle of any size so they would not qualify as a supplemental housing structure. Secondly in Section C.1.f., I think I would state that language as follows: "This supplemental housing unit shall not be used for short-term rental purposes with short-term rental being a period less than 30 consecutive days." I would not want to separately permit this by the City because that will open a Pandora's Box and once we allow a supplemental housing structure to be short-term rented, we will not be able to close that loophole. Therefore, I think it should be tightened up. Otherwise your Ordinance certainly looks fine to me. I must say I have never heard of this supplemental housing structure but it certainly seems like a good idea.

One other thought I might have is with regard to the approval criteria for a conditional use permit, where it talks about lot size, are you referring to 7,200 square feet for the entire lot or is that the minimum lot size after placement of a primary residence? I think we need to make sure that 7,200 square feet if that is the total lot size will accommodate two housing structures and parking. Do you want to add any provision for vegetative buffers on the lot to screen the two structures? Also, if there is a garage already in place, how will a City lot accommodate another supplemental structure? It seems as though that could be a tight fit.

In any event, those are my comments. If you have any questions, please feel free to contact me.

Sincerely,

A handwritten signature in dark ink, appearing to be 'S. Garbowicz', written over the word 'Sincerely,'.

Steven C. Garbowicz

SCG:alc



**70% of Single & Two Family zoning exceeds the minimum lot size**

**75% of Single Family zoning exceeds the minimum lot size**

| Parcel #     | Sq Ft  | Acres | Zoning District            | Owner Name              | Site Address               |
|--------------|--------|-------|----------------------------|-------------------------|----------------------------|
| 221-761      | -      | 0     | Single and Two Family (ER) | JAMES PATTEN TRUST      |                            |
| 221-35-01    | 5,125  | 0.118 | Single and Two Family (ER) | ROBERT DERUITER         |                            |
| 221-829      | 5,264  | 0.121 | Single and Two Family (ER) | CITY OF EAGLE RIVER     |                            |
| 221-816      | 5,340  | 0.123 | Single and Two Family (ER) | JEWEL RENTALS LLC       | 624 N MINNESOTA STREET     |
| 221-776      | 6,100  | 0.14  | Single and Two Family (ER) | DOROTHY B HOLTSLANDER   | 102 W ILLINOIS STREET      |
| 221-817      | 6,180  | 0.142 | Single and Two Family (ER) | JEWEL RENTALS LLC       | 620 N MINNESOTA STREET     |
| 221-70       | 6,264  | 0.144 | Single and Two Family (ER) | KRYSTLE R REEVES        | 443 N WISCONSIN STREET     |
| 221-818      | 7,020  | 0.161 | Single and Two Family (ER) | CORBIN D HALL           | 614 N MINNESOTA STREET     |
| 221-72       | 7,200  | 0.165 | Single and Two Family (ER) | MITCHELL FRONDAL        | 202 W ILLINOIS STREET      |
| 221-72-01    | 7,200  | 0.165 | Single and Two Family (ER) | CHEVAL NOIR LLC         | 206 W ILLINOIS STREET      |
| 221-790      | 7,200  | 0.165 | Single and Two Family (ER) | DONALD SCHARF TRUST     | 522 N WISCONSIN STREET A&B |
| 221-791      | 7,200  | 0.165 | Single and Two Family (ER) | DHAH RENTALS LLC        | 526 N WISCONSIN STREET A&B |
| 221-792      | 7,200  | 0.165 | Single and Two Family (ER) | CRAIG J REICHER         | 532 N WISCONSIN STREET     |
| 221-794      | 7,200  | 0.165 | Single and Two Family (ER) | THERESA K WILLS         | 527 N MINNESOTA STREET     |
| 221-795      | 7,200  | 0.165 | Single and Two Family (ER) | KARL S WAGNER           | 521 N MINNESOTA STREET     |
| 221-796      | 7,200  | 0.165 | Single and Two Family (ER) | TYLER C VOGEL           | 511 N MINNESOTA STREET     |
| 221-802      | 7,200  | 0.165 | Single and Two Family (ER) | ERIC BECKER             | 626 N WISCONSIN STREET     |
| 221-803      | 7,200  | 0.165 | Single and Two Family (ER) | KRISTEN A YEAGER        | 630 N WISCONSIN STREET     |
| 221-806      | 7,200  | 0.165 | Single and Two Family (ER) | DAMON A LAKING          | 631 N MINNESOTA STREET     |
| 221-809      | 7,200  | 0.165 | Single and Two Family (ER) | BARBARA A VUGRINEC      | 621 N MINNESOTA STREET     |
| 221-81       | 7,200  | 0.165 | Single and Two Family (ER) | JULIAN J RODRIGUEZ      | 416 N MICHIGAN STREET      |
| 221-810      | 7,200  | 0.165 | Single and Two Family (ER) | SCOTT LEWIS             | 615 N MINNESOTA STREET     |
| 221-811      | 7,200  | 0.165 | Single and Two Family (ER) | DANIEL J ENGLUND        | 217 W OHIO STREET          |
| 221-819      | 7,200  | 0.165 | Single and Two Family (ER) | MDSMD INVESTMENTS LLC   | 606 N MINNESOTA STREET     |
| 221-827      | 7,200  | 0.165 | Single and Two Family (ER) | ESWEIN BROTHERS LLC     | 311 W ILLINOIS STREET      |
| 221-87       | 7,200  | 0.165 | Single and Two Family (ER) | LUDWIG TRUST            |                            |
| 221-88       | 7,200  | 0.165 | Single and Two Family (ER) | THOMAS KRYSZYNIAK       | 127 W SHERBURN STREET      |
| 221-70-01    | 7,232  | 0.166 | Single and Two Family (ER) | JESSIE BORTOLOTTI       | 112 W ILLINOIS STREET      |
| 221-795-01   | 7,405  | 0.17  | Single and Two Family (ER) | RENEE M HOLMAN          | 517 N MINNESOTA STREET     |
| 221-777      | 7,740  | 0.178 | Single and Two Family (ER) | DOROTHY B HOLTSLANDER   |                            |
| 221-945      | 7,800  | 0.179 | Single and Two Family (ER) | ALYSSA M ATCHISON       | 455 N MAIN STREET          |
| 221-104-101  | 8,805  | 0.202 | Single and Two Family (ER) | CAROL A GUSTAFSON TRUST | 413 N MINNESOTA STREET     |
| 221-104-102  | 8,805  | 0.202 | Single and Two Family (ER) | CAROL A GUSTAFSON TRUST | 411 N MINNESOTA STREET     |
| 221-812      | 9,000  | 0.207 | Single and Two Family (ER) | HAROLD E JOHNSON TRUST  |                            |
| 221-774      | 9,360  | 0.215 | Single and Two Family (ER) | TIMOTHY E SCHMIDT       | 527 N WISCONSIN STREET     |
| 221-804      | 9,882  | 0.227 | Single and Two Family (ER) | SARAH E TSCHANNEN       | 202 W MILL STREET          |
| 221-819-01   | 9,996  | 0.229 | Single and Two Family (ER) | KATHERINE BOYLE         | 307 W OHIO STREET          |
| 221-777-0002 | 10,019 | 0.23  | Single and Two Family (ER) | JAMES PATTEN TRUST      |                            |
| 221-30       | 10,375 | 0.238 | Single and Two Family (ER) | KATHLEEN M RANDALL      |                            |
| 221-34       | 10,375 | 0.238 | Single and Two Family (ER) | ROBERT A DERUITER       | 616 N WASHINGTON STREET    |
| 221-769      | 10,440 | 0.24  | Single and Two Family (ER) | JAMES M PATTEN          | 502 N MICHIGAN STREET      |
| 221-960-032  | 10,703 | 0.246 | Single and Two Family (ER) | NATHAN COREY            | 518 W OHIO STREET          |
| 221-960-034  | 10,780 | 0.247 | Single and Two Family (ER) | KAYLEE M BROWN          | 526 W OHIO STREET          |
| 221-960-035  | 10,780 | 0.247 | Single and Two Family (ER) | ZACHERY J NUMRICH       | 602 W OHIO STREET          |
| 221-800      | 10,800 | 0.248 | Single and Two Family (ER) | ANDREW L WYATT          | 612 N WISCONSIN STREET     |
| 221-801      | 10,800 | 0.248 | Single and Two Family (ER) | DONALD SCHARF TRUST     | 618 N WISCONSIN STREET A&B |
| 221-826      | 10,800 | 0.248 | Single and Two Family (ER) | CYNTHIA J OLIVER        | 315 W ILLINOIS STREET      |
| 221-830-054  | 10,843 | 0.24  | Single and Two Family (ER) | BAILEY A CROKER         |                            |
| 221-946      | 10,980 | 0.252 | Single and Two Family (ER) | DAVID E TEWS            | 435 N MAIN STREET          |
| 221-86       | 11,100 | 0.255 | Single and Two Family (ER) | PAUL W LOGAN            | 119 W SHERBURN STREET      |
| 221-999-01   | 11,155 | 0.256 | Single and Two Family (ER) | TIMOTHY E CROSS TRUST   |                            |
| 221-999-02   | 11,155 | 0.256 | Single and Two Family (ER) | MICHAEL SWISHER         | 48 E MCKINLEY              |
| 221-830-03   | 11,250 | 0.25  | Single and Two Family (ER) | REBECCA D LARSON        | 416 W OHIO STREET          |
| 221-830-04   | 11,250 | 0.25  | Single and Two Family (ER) | DONALD J TOMLANOVICH    | 422 W OHIO STREET          |
| 221-814      | 11,417 | 0.262 | Single and Two Family (ER) | DONNA J CONGLETON LE    | 628 N MINNESOTA STREET     |
| 221-805      | 11,590 | 0.266 | Single and Two Family (ER) | JASON SIEGEL            | 214 W MILL STREET          |
| 221-830-053  | 11,609 | 0.26  | Single and Two Family (ER) | BAILEY A CROKER         |                            |
| 221-830-052  | 12,376 | 0.28  | Single and Two Family (ER) | BAILEY A CROKER         |                            |
| 221-799      | 12,600 | 0.289 | Single and Two Family (ER) | STEPHEN D INGRAM        | 201 W OHIO STREET          |
| 221-960-0351 | 12,600 | 0.289 | Single and Two Family (ER) | DAWN M STAUFFACHER      | 609 N SUNFIELD DRIVE       |
| 221-80       | 12,632 | 0.29  | Single and Two Family (ER) | EMILY E SHAVER          | 425 N MINNESOTA STREET     |
| 221-960-0355 | 12,632 | 0.29  | Single and Two Family (ER) | THOMAS A NEDDO TRUST JR |                            |
| 221-960-037  | 13,591 | 0.312 | Single and Two Family (ER) | KOREY A TANK            | 525 W OHIO STREET          |
| 221-36       | 13,625 | 0.313 | Single and Two Family (ER) | GLENN M LASOWSKI        | 425 W OHIO STREET          |
| 221-830      | 13,625 | 0.313 | Single and Two Family (ER) | KATHLEEN M RANDALL      | 407 W OHIO STREET          |

|              |              |       |                            |                                   |                         |
|--------------|--------------|-------|----------------------------|-----------------------------------|-------------------------|
| 221-104-15   | 13,939       | 0.32  | Single and Two Family (ER) | MARVIN R SIMCAKOSKI               | 221 W SHERBURN STREET   |
| 221-104-16   | 13,939       | 0.32  | Single and Two Family (ER) | MARVIN R SIMCAKOSKI               | 209 W SHERBURN STREET   |
| 221-104-11   | 14,400       | 0.331 | Single and Two Family (ER) | GREGORY S QUALLEY                 | 308 W ILLINOIS STREET   |
| 221-104-12   | 14,400       | 0.331 | Single and Two Family (ER) | DONALD SCHARF TRUST               | 314 W ILLINOIS STREET   |
| 221-104-13   | 14,400       | 0.331 | Single and Two Family (ER) | PETER J BALTUS TRUST              | 320 W ILLINOIS STREET   |
| 221-762      | 14,400       | 0.331 | Single and Two Family (ER) | JAMES PATTEN TRUST                |                         |
| 221-775      | 14,400       | 0.331 | Single and Two Family (ER) | RYAN T BROWN                      | 537 N WISCONSIN STREET  |
| 221-808      | 14,400       | 0.331 | Single and Two Family (ER) | KATHLEEN R EVANS                  | 627 N MINNESOTA STREET  |
| 221-83       | 14,400       | 0.331 | Single and Two Family (ER) | JOHN ZALESKI TRUST                | 113 W SHERBURN STREET   |
| 221-960-029  | 15,600       | 0.358 | Single and Two Family (ER) | RICHARD A GROBOSKI                | 522 N ADAMS ROAD        |
| 221-90       | 16,117       | 0.37  | Single and Two Family (ER) | KARLA SIEMERING BRYANT            | 311 W SHERBURN STREET   |
| 221-91-002   | 16,117       | 0.37  | Single and Two Family (ER) | ERIC C ZYHOWSKI                   |                         |
| 221-947      | 16,740       | 0.384 | Single and Two Family (ER) | LINDA L VANDE VOORT               |                         |
| 221-773      | 18,000       | 0.413 | Single and Two Family (ER) | PAUL GERHART JR                   | 521 N WISCONSIN STREET  |
| 221-104-100  | 18,031       | 0.41  | Single and Two Family (ER) | APARTMENT CONDO                   |                         |
| 221-825      | 18,369       | 0.422 | Single and Two Family (ER) | DEREK G GREATSINGER               | 534 N MINNESOTA STREET  |
| 221-960-0353 | 20,160       | 0.463 | Single and Two Family (ER) | WESLEY E GEIB                     | 621 N SUNFIELD DRIVE    |
| 221-960-030  | 21,666       | 0.497 | Single and Two Family (ER) | RUSSELL KENNEDY                   | 590 N ADAMS ROAD        |
| 221-960-0354 | 22,216       | 0.51  | Single and Two Family (ER) | THOMAS A NEDDO TRUST JR           | 608 N SUNFIELD DRIVE    |
| 221-777-0001 | 22,651       | 0.52  | Single and Two Family (ER) | JAMES PATTEN TRUST                | 512 N MICHIGAN STREET   |
| 221-94       | 28,440       | 0.653 | Single and Two Family (ER) | ROBERT J SILSBY                   | 433 W SHERBURN STREET   |
| 221-73       | 31,330       | 0.719 | Single and Two Family (ER) | ICS INVESTMENTS LLC               | 420 N MINNESOTA STREET  |
| 221-960-02   | 31,920       | 0.733 | Single and Two Family (ER) | RICHARD GROBOSKI                  |                         |
| 221-960-012  | 32,712       | 0.751 | Single and Two Family (ER) | FRANCIS J JESBERGER               | 608 W OHIO STREET       |
| 221-830-051  | 34,179       | 0.78  | Single and Two Family (ER) | BAILEY A CROKER                   | 431 W ILLINOIS STREET   |
| 221-104      | 46,208       | 1.061 | Single and Two Family (ER) | SENICKA/VAN HOUTEN TRUST          | 323 W SHERBURN STREET   |
| 221-104-14   | 56,160       | 1.289 | Single and Two Family (ER) | MARVIN R SIMCAKOSKI               | 326 N MINNESOTA STREET  |
| 221-948      | 56,457       | 0     | Single and Two Family (ER) | VILAS COUNTY                      |                         |
| 221-830-05   | 76,356       | 1.75  | Single and Two Family (ER) | DONALD J TOMLANOVICH              |                         |
| 221-77       | 90,816       | 2.085 | Single and Two Family (ER) | DOUGLAS W SILSBY                  | 436 W ILLINOIS STREET   |
| 221-82       | 98,881       | 2.27  | Single and Two Family (ER) | MARVIN R SIMCAKOSKI               | 319 N MINNESOTA STREET  |
| 221-59       | 103,800      | 2.383 | Single and Two Family (ER) | CLARK TRUST                       | 552 E MCKINLEY          |
| 221-185-19   | 209,088      | 4.8   | Single and Two Family (ER) | WILLOUGHBY HOLDINGS LLC           |                         |
| 221-953-02   | <b>523</b>   | 0.012 | Single-Family Residential  | NOT AVAILABLE                     |                         |
| 221-193      | <b>3,920</b> | 0.09  | Single-Family Residential  | CITY OF EAGLE RIVER               |                         |
| 221-285      | <b>5,000</b> | 0.115 | Single-Family Residential  | DONALD SCHARF TRUST               | 214 E SPRUCE STREET     |
| 221-215      | <b>5,282</b> | 0.121 | Single-Family Residential  | DANIEL J GROSSKOPF                | 330 N SIXTH STREET      |
| 221-524-001  | <b>5,680</b> | 0.13  | Single-Family Residential  | ARMANDO J GARCIA                  | 220 SILVER LAKE ROAD    |
| 221-60       | <b>5900</b>  | 0.14  | Single-Family Residential  | CITY OF EAGLE RIVER               | 536 E MCKINLEY          |
| 221-708      | <b>5,940</b> | 0.136 | Single-Family Residential  | KAREN J MCKENDRY                  | 107 S SECOND STREET     |
| 221-649      | <b>6,000</b> | 0.138 | Single-Family Residential  | DEBRA L JASTROW                   | 521 E DIVISION STREET   |
| 221-707      | <b>6,000</b> | 0.138 | Single-Family Residential  | COMMUNITY BIBLE CHURCH            | 410 E DIVISION STREET   |
| 221-709      | <b>6,000</b> | 0.138 | Single-Family Residential  | COMMUNITY BIBLE CHURCH            | 101 S SECOND STREET     |
| 221-422      | <b>6,069</b> | 0.139 | Single-Family Residential  | JAMES D TIDBALL                   | 629 N BOND STREET       |
| 221-445-001  | <b>6,098</b> | 0.14  | Single-Family Residential  | COLETTE ERBACH                    | 542 N BOND STREET       |
| 221-504      | <b>6,200</b> | 0.142 | Single-Family Residential  | CHAD D KIRSCHBAUM                 | 311 E SPRUCE STREET     |
| 221-423      | <b>6,300</b> | 0.145 | Single-Family Residential  | FIGURE 8 CAPITAL LLC              | 625 N BOND STREET       |
| 221-397      | <b>6,500</b> | 0.149 | Single-Family Residential  | ROBERT J KUBACKI                  | 543 N HIRZEL STREET     |
| 221-398      | <b>6,500</b> | 0.149 | Single-Family Residential  | STACEY NESS                       | 537 N HIRZEL STREET     |
| 221-401-05   | <b>6,500</b> | 0.149 | Single-Family Residential  | JESUS L CASTILLO                  |                         |
| 221-402      | <b>6,500</b> | 0.149 | Single-Family Residential  | JESUS L CASTILLO                  |                         |
| 221-403      | <b>6,500</b> | 0.149 | Single-Family Residential  | MARK G NASCISZEWSKI               |                         |
| 221-408-01   | <b>6,500</b> | 0.149 | Single-Family Residential  | NANCY B ROBINS                    | 639 N HIRZEL STREET     |
| 221-411      | <b>6,500</b> | 0.149 | Single-Family Residential  | ERIC A MALLOY                     | 617 N HIRZEL STREET     |
| 221-412      | <b>6,500</b> | 0.149 | Single-Family Residential  | STEVEN G ANDERSON JR              | 615 N HIRZEL STREET     |
| 221-413      | <b>6,500</b> | 0.149 | Single-Family Residential  | MICHAEL J GILDEMEISTER            | 611 N HIRZEL STREET     |
| 221-416      | <b>6,500</b> | 0.149 | Single-Family Residential  | RANDY G SOLBERG                   | 614 N HIRZEL STREET     |
| 221-419      | <b>6,500</b> | 0.149 | Single-Family Residential  | BROOKE O STEFONIK                 | 626 N HIRZEL STREET     |
| 221-419-004  | <b>6,500</b> | 0.149 | Single-Family Residential  | JAMES D TIDBALL JR                | 628 N HIRZEL STREET     |
| 221-424      | <b>6,500</b> | 0.149 | Single-Family Residential  | FIGURE 8 CAPITAL LLC              |                         |
| 221-424-01   | <b>6,500</b> | 0.149 | Single-Family Residential  | NOT AVAILABLE                     | 617 N BOND STREET       |
| 221-509      | <b>6,854</b> | 0.157 | Single-Family Residential  | DANA L CROKER                     | 220 N THIRD STREET      |
| 221-517      | <b>6,900</b> | 0.158 | Single-Family Residential  | LUTHERN CHURCH CHRIST EVANGELICAL | 221 N THIRD STREET      |
| 221-1039     | <b>7,040</b> | 0.162 | Single-Family Residential  | RICHARD P BAILEY                  | 624 E DIVISION STREET   |
| 221-716      | <b>7,200</b> | 0.165 | Single-Family Residential  | MARK E SLUSARCZYK                 |                         |
| 221-717      | <b>7,200</b> | 0.165 | Single-Family Residential  | MARK E SLUSARCZYK                 | 110 S SECOND STREET A&B |

|             |        |       |                           |                            |                        |
|-------------|--------|-------|---------------------------|----------------------------|------------------------|
| 221-912     | 7,200  | 0.165 | Single-Family Residential | DEBRAH K STOLZE            |                        |
| 221-913     | 7,200  | 0.165 | Single-Family Residential | LEON A GEIGER              | 322 N FIRST STREET     |
| 221-383     | 7,400  | 0.17  | Single-Family Residential | CRAIG BEER                 | 527 N DYER PARK        |
| 221-384     | 7,400  | 0.17  | Single-Family Residential | LAWRENCE R SNEDDEN         | 521 N DYER PARK        |
| 221-477     | 7,450  | 0.171 | Single-Family Residential | JOHN M LOOMIS              | 329 N SECOND STREET    |
| 221-490     | 7,450  | 0.171 | Single-Family Residential | NATALIE D SPIESS           | 301 E MAPLE STREET     |
| 221-510     | 7,450  | 0.171 | Single-Family Residential | LINDA L HALADA             | 218 N THIRD STREET     |
| 221-466     | 7,492  | 0.172 | Single-Family Residential | MICHAEL TRANETZKI          |                        |
| 221-1035    | 7,500  | 0.172 | Single-Family Residential | MARY J GORYL               | 712 E DIVISION STREET  |
| 221-286     | 7,500  | 0.172 | Single-Family Residential | DAWN CYTACKI               | 114 N FIRST STREET     |
| 221-296     | 7,500  | 0.172 | Single-Family Residential | PETE N NETES INC           | 210 N FIRST STREET     |
| 221-465     | 7,500  | 0.172 | Single-Family Residential | AUSTIN KALKOFEN            | 346 N THIRD STREET     |
| 221-501     | 7,500  | 0.172 | Single-Family Residential | RENEE DAHL                 | 208 N SECOND STREET    |
| 221-502     | 7,500  | 0.172 | Single-Family Residential | DOUGLAS BREIT              | 315 E SPRUCE STREET    |
| 221-503     | 7,500  | 0.172 | Single-Family Residential | ANTHONY P GAETANO          | 323 E SPRUCE STREET    |
| 221-506     | 7,500  | 0.172 | Single-Family Residential | ANDRES PAEZ                | 211 N FIRST STREET     |
| 221-650     | 7,500  | 0.172 | Single-Family Residential | KIERAN M SAFFIA            | 112 N FOURTH STREET    |
| 221-652     | 7,500  | 0.172 | Single-Family Residential | SHERRY K MCCRUM TRUST      | 120 N FOURTH STREET    |
| 221-988     | 7,500  | 0.172 | Single-Family Residential | JEFFREY A HYSLOP           | 323 N SILVER LAKE ROAD |
| 221-641     | 7,800  | 0.179 | Single-Family Residential | GERDA SAFER TRUST          |                        |
| 221-190     | 7,920  | 0.182 | Single-Family Residential | S&W HOLDINGS LLC           | 600 E DIVISION STREET  |
| 221-703     | 8,046  | 0.185 | Single-Family Residential | ERIC H OLSEN               |                        |
| 221-651     | 8,250  | 0.189 | Single-Family Residential | CHRISTINE STENSRUDE CULLEY | 514 E SPRUCE STREET    |
| 221-294     | 8,400  | 0.193 | Single-Family Residential | THERESA KNOCHE             | 222 N FIRST STREET     |
| 221-880-01  | 8,500  | 0.195 | Single-Family Residential | ALBERT D MOUSTAKIS         |                        |
| 221-408     | 8,645  | 0.198 | Single-Family Residential | MARY C REID                | 652 N DYER PARK        |
| 221-505     | 8,712  | 0.2   | Single-Family Residential | ANTHONY T BALISTRIERI      | 205 N FIRST STREET     |
| 221-711     | 8,880  | 0.204 | Single-Family Residential | FRANCIS A SAILER TRUST     | 111 S SECOND STREET    |
| 221-297     | 9,000  | 0.207 | Single-Family Residential | TODD J BUDD                | 221 E SPRUCE STREET    |
| 221-718     | 9,000  | 0.207 | Single-Family Residential | DONALD A SCHARF TRUST      | 320 E DIVISION STREET  |
| 221-719     | 9,000  | 0.207 | Single-Family Residential | GAFFNEY-BUSHA FUNERAL INC  | 312 E DIVISION STREET  |
| 221-916     | 9,000  | 0.207 | Single-Family Residential | MICHAEL J KAUZLARIC        | 215 E MAPLE STREET     |
| 221-432     | 9,100  | 0.209 | Single-Family Residential | KATHERINE L HUTSON         | 549 N BOND STREET      |
| 221-527     | 9,100  | 0.209 | Single-Family Residential | SCOTT D LUDTKE             | 202 N SILVER LAKE ROAD |
| 221-1033    | 9,148  | 0.21  | Single-Family Residential | JUDY A BARR TRUST          | 716 E DIVISION STREET  |
| 221-204     | 9,150  | 0.21  | Single-Family Residential | STEPHEN J FAVORITE         | 107 N SILVER LAKE ROAD |
| 221-208     | 9,387  | 0.215 | Single-Family Residential | OUR SAVIOR LUTHERAN        |                        |
| 221-643     | 9,450  | 0.217 | Single-Family Residential | STEPHEN S PEARSON          | 120 N SECOND STREET    |
| 221-209     | 9,536  | 0.219 | Single-Family Residential | OUR SAVIOR LUTHERAN        |                        |
| 221-47      | 9,560  | 0.219 | Single-Family Residential | RIVERWOOD COTTAGES LLC     | 322 E MCKINLEY         |
| 221-207     | 9,600  | 0.22  | Single-Family Residential | OUR SAVIOR LUTHERAN        |                        |
| 221-428-001 | 9,675  | 0.222 | Single-Family Residential | SOREN T ROETHLE            | 532 N HIRZEL STREET    |
| 221-428-01  | 9,675  | 0.222 | Single-Family Residential | GRANT M SHERMAN            | 538 N HIRZEL STREET    |
| 221-432-01  | 9,750  | 0.224 | Single-Family Residential | BERNARD E HOEFS            | 543 N BOND STREET      |
| 221-432-02  | 9,750  | 0.224 | Single-Family Residential | KEVIN G MAGEE              | 537 N BOND STREET      |
| 221-877-010 | 9,750  | 0.224 | Single-Family Residential | CURTIS W HENNES            |                        |
| 221-210     | 9,940  | 0.228 | Single-Family Residential | JANICE L ZINDEL            | 301 N SILVER LAKE ROAD |
| 221-284     | 10,000 | 0.23  | Single-Family Residential | KIM M SCHAFFER             | 220 E SPRUCE STREET    |
| 221-525     | 10,000 | 0.23  | Single-Family Residential | ARMANDO J GARCIA           | 218 N SILVER LAKE ROAD |
| 221-430     | 10,400 | 0.239 | Single-Family Residential | BKLANE PROPERTIES INC      | 706 E BURNETT STREET   |
| 221-705     | 10,430 | 0.239 | Single-Family Residential | MATTHEW F GORE             | 420 E DIVISION STREET  |
| 221-914     | 10,440 | 0.24  | Single-Family Residential | DEBRAH K STOLZE            | 312 N FIRST STREET     |
| 221-507     | 10,500 | 0.241 | Single-Family Residential | KEVIN HYSELL               | 213 N FIRST STREET     |
| 221-529     | 10,500 | 0.241 | Single-Family Residential | ROBERT KISSNER             | 111 N FOURTH STREET    |
| 221-529-01  | 10,500 | 0.241 | Single-Family Residential | STEVEN T SPENCER           | 112 N SILVER LAKE ROAD |
| 221-530     | 10,500 | 0.241 | Single-Family Residential | JAMES G RITZER             | 104 N SILVER LAKE ROAD |
| 221-530-01  | 10,500 | 0.241 | Single-Family Residential | JAMES G RITZER             | 105 N FOURTH STREET    |
| 221-435     | 10,578 | 0.243 | Single-Family Residential | HUNTER JOHN FOSTER         | 525 N BOND STREET      |
| 221-516     | 10,579 | 0.243 | Single-Family Residential | SONIA GRAVES               | 221 N SECOND STREET    |
| 221-433     | 10,660 | 0.245 | Single-Family Residential | HAROLD F ROETHLE           | 533 N BOND STREET      |
| 221-497     | 10,800 | 0.248 | Single-Family Residential | JULIANA STOVER             | 343 N FIRST STREET     |
| 221-498     | 10,890 | 0.25  | Single-Family Residential | MELISSA E ELFSTROM         | 218 N SECOND STREET    |
| 221-438     | 10,920 | 0.251 | Single-Family Residential | KRIS M CALIX               |                        |
| 221-941-01  | 11,096 | 0.255 | Single-Family Residential | JESSE CAMPBELL             | 209 E RIVER STREET     |
| 221-478     | 11,175 | 0.257 | Single-Family Residential | KENNETH J HARMS            | 333 N SECOND STREET    |
| 221-479     | 11,175 | 0.257 | Single-Family Residential | BEATRICE E DIERKING        | 337 N SECOND STREET    |



|             |        |       |                           |                                    |                        |
|-------------|--------|-------|---------------------------|------------------------------------|------------------------|
| 221-483     | 11,175 | 0.257 | Single-Family Residential | JAY A WENTWORTH                    | 328 N SECOND STREET    |
| 221-484     | 11,175 | 0.257 | Single-Family Residential | LOGAN R CROKER                     | 322 N SECOND STREET    |
| 221-487     | 11,175 | 0.257 | Single-Family Residential | ERIK W OAS                         | 308 N SECOND STREET    |
| 221-489     | 11,175 | 0.257 | Single-Family Residential | TERRY R OLSON                      | 302 N SECOND STREET    |
| 221-491     | 11,175 | 0.257 | Single-Family Residential | MICHAEL WADE                       | 307 N FIRST STREET     |
| 221-492     | 11,175 | 0.257 | Single-Family Residential | JULIO W RIDGLEY                    | 313 N FIRST STREET     |
| 221-513     | 11,175 | 0.257 | Single-Family Residential | DENNIS J FRANCISKOVICH             | 205 N SECOND STREET    |
| 221-514     | 11,175 | 0.257 | Single-Family Residential | NANCY M MANSAVAGE                  | 209 N SECOND STREET    |
| 221-515     | 11,175 | 0.257 | Single-Family Residential | JACK C BAER                        | 215 N SECOND STREET    |
| 221-1038    | 11,200 | 0.257 | Single-Family Residential | PAUL E JUMES                       | 630 E DIVISION STREET  |
| 221-1040    | 11,200 | 0.257 | Single-Family Residential | SHANNON K LEHMANN                  | 706 E DIVISION STREET  |
| 221-644-01  | 11,200 | 0.257 | Single-Family Residential | JASON E MEIER                      | 121 N SECOND STREET    |
| 221-471     | 11,250 | 0.258 | Single-Family Residential | EDWARD SWANSON                     | 302 N THIRD STREET     |
| 221-989     | 11,250 | 0.258 | Single-Family Residential | JESSICA E GOULET                   | 319 N SILVER LAKE ROAD |
| 221-991     | 11,250 | 0.258 | Single-Family Residential | GREGORY A BUTLER                   | 103 N SILVER LAKE ROAD |
| 221-500     | 11,326 | 0.26  | Single-Family Residential | TADEUSZ DANIELAK                   | 214 N SECOND STREET    |
| 221-926-01  | 11,326 | 0.26  | Single-Family Residential | CHRISTINE A TIMME                  | 431 N RIVER STREET     |
| 221-508     | 11,400 | 0.262 | Single-Family Residential | JEFFERY H MARQUARDT                | 221 N FIRST STREET     |
| 221-453     | 11,430 | 0.262 | Single-Family Residential | TED D WYDEVEN                      | 622 N BOND STREET      |
| 221-235-03  | 11,625 | 0.267 | Single-Family Residential | CHRISTOPHER E SULLIVAN             | 136 N SEVENTH STREET   |
| 221-524     | 11,680 | 0.268 | Single-Family Residential | MICHELLE G GREB                    | 612 E MAPLE STREET     |
| 221-392     | 11,700 | 0.269 | Single-Family Residential | GERDA SAFER TRUST                  | 813 E SILVER LAKE ROAD |
| 221-915     | 11,761 | 0.27  | Single-Family Residential | JEFF THOMAS TRUST                  | 310 N FIRST STREET     |
| 221-990     | 11,761 | 0.27  | Single-Family Residential | NOT AVAILABLE                      | 329 N SILVER LAKE ROAD |
| 221-876     | 11,935 | 0.274 | Single-Family Residential | ROBERT P REIL JR                   | 1069 E MAPLE STREET    |
| 221-407     | 11,960 | 0.275 | Single-Family Residential | RONALD L JOHNSON                   | 650 N DYER PARK        |
| 221-61-21   | 12,000 | 0.275 | Single-Family Residential | LYNDA M BOLTE                      | 761 E MCKINLEY         |
| 221-213     | 12,093 | 0.278 | Single-Family Residential | JOSEPH G BUCK JR                   | 314 N SIXTH STREET     |
| 221-942     | 12,225 | 0.281 | Single-Family Residential | WILLIAM MORGAN TRUST               | 213 E RIVER STREET     |
| 221-962     | 12,240 | 0.281 | Single-Family Residential | ROBERT GOVEK                       | 216 CAPICH DRIVE       |
| 221-973     | 12,240 | 0.281 | Single-Family Residential | JUSTIN R BEHLING                   | 219 N NINTH STREET     |
| 221-975     | 12,240 | 0.281 | Single-Family Residential | KARA PETTERSON                     | 224 CAPICH DRIVE       |
| 221-853     | 12,460 | 0.286 | Single-Family Residential | LANA K LEMASTER                    | 1059 E WALNUT STREET   |
| 221-861     | 12,546 | 0.288 | Single-Family Residential | RANDY R ALSTEEN                    |                        |
| 221-225     | 12,800 | 0.294 | Single-Family Residential | ABIGAIL V BURKETT                  | 906 E WALNUT STREET    |
| 221-706     | 12,814 | 0.294 | Single-Family Residential | ERIC H OLSEN                       | 108 S THIRD STREET     |
| 221-400     | 12,900 | 0.296 | Single-Family Residential | JEAN M MRAZ                        | 519 N HIRZEL STREET    |
| 221-394     | 13,000 | 0.298 | Single-Family Residential | ASHLEY F KRUSICK                   | 510 N DYER PARK        |
| 221-395     | 13,000 | 0.298 | Single-Family Residential | JAYNE L WINBLAD                    | 518 N DYER PARK        |
| 221-396     | 13,000 | 0.298 | Single-Family Residential | JESUS L CASTILLO                   | 524 N DYER PARK        |
| 221-402-02  | 13,000 | 0.298 | Single-Family Residential | WILLIAM J DYCUS                    | 610 N DYER PARK        |
| 221-409     | 13,000 | 0.298 | Single-Family Residential | JOY KALKOFEN                       | 631 N HIRZEL STREET    |
| 221-410     | 13,000 | 0.298 | Single-Family Residential | PATRICIA E MAYO                    | 623 N HIRZEL STREET    |
| 221-414     | 13,000 | 0.298 | Single-Family Residential | STEVEN W CLEMENTS                  | 817 E BURNETT STREET   |
| 221-417     | 13,000 | 0.298 | Single-Family Residential | ASHLEY N SAUER                     | 620 N HIRZEL STREET    |
| 221-419-009 | 13,000 | 0.298 | Single-Family Residential | DOUGLAS A WENDT                    | 638 N HIRZEL STREET    |
| 221-424-02  | 13,000 | 0.298 | Single-Family Residential | TIMOTHY M JANSSEN                  | 609 N BOND STREET      |
| 221-425     | 13,000 | 0.298 | Single-Family Residential | PAEZ FAMILY INVESTMENTS LLC        | 709 E BURNETT STREET   |
| 221-428     | 13,000 | 0.298 | Single-Family Residential | HAROLD F ROETHLE                   | 524 N HIRZEL STREET    |
| 221-429     | 13,000 | 0.298 | Single-Family Residential | SUNSET VACATION RENTALS LLC        | 806 E BURNETT STREET   |
| 221-648     | 13,000 | 0.298 | Single-Family Residential | JOSEPH N GANZER                    | 517 E DIVISION STREET  |
| 221-928     | 13,040 | 0.299 | Single-Family Residential | ANGELA M PEIL                      | 435 N RIVER STREET     |
| 221-295     | 13,068 | 0.3   | Single-Family Residential | JESSICA T JENSEN                   | 214 N FIRST STREET     |
| 221-652-001 | 13,262 | 0.3   | Single-Family Residential | CHRIST EVANGELICAL LUTHERAN CHURCH | 121 N THIRD STREET     |
| 221-938     | 13,375 |       | Single-Family Residential | ALEXANDER D FORER                  | 181 E RIVER STREET     |
| 221-1013    | 13,400 | 0.308 | Single-Family Residential | ARLENE KAUZLARIC LE                | 153 E HOSPITAL ROAD    |
| 221-54      | 13,425 | 0.308 | Single-Family Residential | PEGGY J HANSEN                     | 208 E MCKINLEY         |
| 221-636     | 13,500 | 0.31  | Single-Family Residential | DAVID A KLESSIG                    | 121 N FIRST STREET     |
| 221-637     | 13,500 | 0.31  | Single-Family Residential | WALTER N GANDER                    | 113 N FIRST STREET     |
| 221-640     | 13,600 | 0.312 | Single-Family Residential | GERDA SAFER TRUST                  | 315 E DIVISION STREET  |
| 221-526     | 13,650 | 0.313 | Single-Family Residential | EILEEN R KUHLLERS TRUST            | 205 N FOURTH STREET    |
| 221-969     | 13,872 | 0.318 | Single-Family Residential | NICHOLAS S KILLINGER TRUST         | 1122 E MAPLE STREET    |
| 221-214     | 13,900 | 0.319 | Single-Family Residential | GAIL A BARILKA TRUST               | 320 N SIXTH STREET     |
| 221-385     | 13,950 | 0.32  | Single-Family Residential | LINDA L HALADA                     | 529 N DYER PARK        |
| 221-426     | 14,300 | 0.328 | Single-Family Residential | TIMOTHY W SHIRLEY                  | 811 E SILVER LAKE ROAD |
| 221-442-01  | 14,375 | 0.33  | Single-Family Residential | ANDRES MEJIA                       | 524 N BOND STREET      |

|             |        |       |                           |                                    |                        |
|-------------|--------|-------|---------------------------|------------------------------------|------------------------|
| 221-926     | 14,375 | 0.33  | Single-Family Residential | CHRISTINE A TIMME                  | 421 N RIVER STREET     |
| 221-218     | 14,430 | 0.331 | Single-Family Residential | SUSAN SPANGENBERG                  | 803 E WALNUT STREET    |
| 221-877-009 | 14,514 | 0.333 | Single-Family Residential | JAMES B KOGA                       |                        |
| 221-481     | 14,850 | 0.341 | Single-Family Residential | TERRENCE J SCHNEIDER               | 344 N SECOND STREET    |
| 221-467     | 14,900 | 0.342 | Single-Family Residential | MICHAEL TRANETZKI                  | 338 N THIRD STREET     |
| 221-469     | 14,900 | 0.342 | Single-Family Residential | MARISSA J BURKE                    | 320 N THIRD STREET     |
| 221-473     | 14,900 | 0.342 | Single-Family Residential | HARVEY L HYSLOP                    | 309 N SECOND STREET    |
| 221-475     | 14,900 | 0.342 | Single-Family Residential | THOMAS DUNPHY                      | 317 N SECOND STREET    |
| 221-482     | 14,900 | 0.342 | Single-Family Residential | MITCHELL A HERMANNY                | 334 N SECOND STREET    |
| 221-485     | 14,900 | 0.342 | Single-Family Residential | JOHN T BOYCE                       | 314 N SECOND STREET    |
| 221-493     | 14,900 | 0.342 | Single-Family Residential | CAROLYN L NOSARZEWSKI              | 321 N FIRST STREET     |
| 221-494     | 14,900 | 0.342 | Single-Family Residential | INNECKEN TRUST                     | 329 N FIRST STREET     |
| 221-496     | 14,900 | 0.342 | Single-Family Residential | WENDY M HAAGEN                     | 335 N FIRST STREET     |
| 221-511     | 14,900 | 0.342 | Single-Family Residential | CHAD D KIRSCHBAUM                  | 214 N THIRD STREET A&B |
| 221-512     | 14,900 | 0.342 | Single-Family Residential | NOT AVAILABLE                      | 202 N THIRD STREET     |
| 221-386     | 15,000 | 0.344 | Single-Family Residential | COACH HOUSE CROSSING LLC           | 603 N DYER PARK        |
| 221-468     | 15,000 | 0.344 | Single-Family Residential | TODD W STARLING                    | 328 N THIRD STREET     |
| 221-470     | 15,000 | 0.344 | Single-Family Residential | DONALD R PHELPS                    | 308 N THIRD STREET     |
| 221-472     | 15,000 | 0.344 | Single-Family Residential | ROBERT A EHLERT                    | 403 E MAPLE STREET     |
| 221-647     | 15,000 | 0.344 | Single-Family Residential | PETER E ANDERSON IV                | 103 N THIRD STREET     |
| 221-878-01  | 15,181 | 0.349 | Single-Family Residential | JAMES B KOGA                       | 210 N SEVENTH STREET   |
| 221-862     | 15,200 | 0.349 | Single-Family Residential | RANDY R ALSTEEN                    |                        |
| 221-191     | 15,246 | 0.35  | Single-Family Residential | EAGLE RIVER MASONIC LODGE 248      | 610 E DIVISION STREET  |
| 221-644-05  | 15,543 | 0.357 | Single-Family Residential | JAMES C CALVETTI                   | 114 N THIRD STREET     |
| 221-929     | 15,552 | 0.357 | Single-Family Residential | MARK A LEIPOLD                     | 441 N RIVER STREET     |
| 221-439     | 15,696 | 0.36  | Single-Family Residential | KRIS M CALIX                       | 513 N BOND STREET      |
| 221-644-02  | 15,700 | 0.36  | Single-Family Residential | DOUGLAS G STEARNS                  | 115 N SECOND STREET    |
| 221-644-03  | 15,700 | 0.36  | Single-Family Residential | NATHAN D LEVANDE                   | 103 N SECOND STREET    |
| 221-644-06  | 15,700 | 0.36  | Single-Family Residential | REBECCA J BELLMAN                  | 104 N THIRD STREET     |
| 221-936     | 15,750 | 0.362 | Single-Family Residential | VICTOR J WASHELESKY                | 173 E RIVER STREET     |
| 221-937     | 16,020 | 0.368 | Single-Family Residential | KENNETH L DELANEY                  | 177 E RIVER STREET     |
| 221-642     | 16,050 | 0.368 | Single-Family Residential | APRIL A KURKEREWICZ                | 116 N SECOND STREET    |
| 221-461-02  | 16,100 | 0.37  | Single-Family Residential | PATRICIA J BARTA                   | 510 N BOND STREET      |
| 221-194     | 16,117 | 0.37  | Single-Family Residential | MASONS LODGE 248                   |                        |
| 221-660-04  | 16,117 | 0.37  | Single-Family Residential | DESIGN BUILD BY VISNER INC         |                        |
| 221-235-02  | 16,125 | 0.37  | Single-Family Residential | CURTIS W HENNES                    | 202 N SEVENTH STREET   |
| 221-863     | 16,245 | 0.373 | Single-Family Residential | JAMES D JANET                      | 1034 E WALNUT STREET   |
| 221-427     | 16,250 | 0.373 | Single-Family Residential | THOMAS E KRAMARSIC TRUST           | 512 N HIRZEL STREET    |
| 221-222     | 16,290 | 0.374 | Single-Family Residential | OGREN TRUST                        | 821 E WALNUT STREET    |
| 221-660-05  | 16,553 | 0.38  | Single-Family Residential | DESIGN BUILD BY VISNER INC         |                        |
| 221-461-01  | 16,675 | 0.383 | Single-Family Residential | ADAM K GRASSL                      | 733 E SILVER LAKE ROAD |
| 221-652-002 | 16,741 | 0.38  | Single-Family Residential | CHRIST EVANGELICAL LUTHERAN CHURCH | 111 N THIRD STREET     |
| 221-419-01  | 16,900 | 0.388 | Single-Family Residential | CAROL A MEADOWS                    | 655 N BOND STREET      |
| 221-864     | 17,385 | 0.399 | Single-Family Residential | MICHAEL R MCDONALD                 | 1028 E WALNUT STREET   |
| 221-480     | 17,550 | 0.403 | Single-Family Residential | PETER JOHN                         | 345 N SECOND STREET    |
| 221-639     | 17,860 | 0.41  | Single-Family Residential | UNITED CHURCH FIRST CONGREGATIONAL | 105 N FIRST STREET     |
| 221-61-18   | 17,919 | 0.411 | Single-Family Residential | MARK J ROUILLE                     | 859 E MCKINLEY         |
| 221-420     | 18,000 | 0.413 | Single-Family Residential | KATHERINE A SULLIVAN               | 635 N BOND STREET      |
| 221-644-04  | 18,018 | 0.414 | Single-Family Residential | JEFFREY D LAADT                    | 122 N THIRD STREET     |
| 221-221     | 18,100 | 0.416 | Single-Family Residential | GERALD J KRUPP                     | 813 E WALNUT STREET    |
| 221-444     | 18,150 | 0.417 | Single-Family Residential | JOSEPH H GARRIES                   | 536 N BOND STREET      |
| 221-975-02  | 18,150 | 0.417 | Single-Family Residential | JESSICA L SVOKE                    | 329 CAPICH DRIVE       |
| 221-865     | 18,430 | 0.423 | Single-Family Residential | EDWARD C MITTEL TRUST              | 1008 E WALNUT STREET   |
| 221-235     | 18,731 | 0.43  | Single-Family Residential | MARK H NIZINSKI                    | 707 E DIVISION STREET  |
| 221-445     | 18,731 | 0.43  | Single-Family Residential | WAYNE E ZELINSKI                   | 548 N BOND STREET      |
| 221-960-05  | 18,900 | 0.434 | Single-Family Residential | DONALD A SCHARF                    | 1429 SILVER LAKE ROAD  |
| 221-220     | 18,928 | 0.435 | Single-Family Residential | GEORGE A WAGNER TRUST              | 807 E WALNUT STREET    |
| 221-206     | 19,200 | 0.441 | Single-Family Residential | CHERYL L DEHART                    | 117 N SILVER LAKE ROAD |
| 221-873     | 19,344 | 0.444 | Single-Family Residential | ANNA KUJAWSKI LE                   | 1043 E MAPLE STREET    |
| 221-528     | 19,400 | 0.445 | Single-Family Residential | FOND DU LAC DIOCESE OF TSTEEs      | 120 N SILVER LAKE ROAD |
| 221-61-17   | 19,400 | 0.445 | Single-Family Residential | JOHN E GUSTAVSON                   | 891 E MCKINLEY         |
| 221-399     | 19,500 | 0.448 | Single-Family Residential | JOHN W STEARNS                     | 529 N HIRZEL STREET    |
| 221-406-10  | 19,500 | 0.448 | Single-Family Residential | JOHN D SETCHELL TRUST              | 646 N DYER PARK        |
| 221-415     | 19,500 | 0.448 | Single-Family Residential | CYNTHIA S NELSON                   | 606 N HIRZEL STREET    |
| 221-39      | 19,504 | 0.448 | Single-Family Residential | KELLI A MCMAHON                    | 504 E MCKINLEY         |
| 221-866     | 19,570 | 0.449 | Single-Family Residential | EDWARD C MITTEL TRUST              | 1008 E WALNUT STREET   |

|              |        |       |                           |   |                        |
|--------------|--------|-------|---------------------------|---|------------------------|
| 221-226      | 19,646 | 0.451 | Single-Family Residential | EDWIN S BELL TRUST                            |                        |
| 221-868      | 19,800 | 0.455 | Single-Family Residential | MARK A KRUPKA                                 |                        |
| 221-211      | 19,880 | 0.456 | Single-Family Residential | DAVID W MEIHACK                               | 311 N SILVER LAKE ROAD |
| 221-869      | 20,000 | 0.459 | Single-Family Residential | MIRANDA J WENDLER                             | 229 N EIGHTH STREET    |
| 221-870      | 20,000 | 0.459 | Single-Family Residential | KEVIN T MCGUIRE                               | 1005 E MAPLE STREET    |
| 221-881      | 20,000 | 0.459 | Single-Family Residential | DONALD SCHARF TRUST                           | 202 N NINTH STREET     |
| 221-960-06   | 20,038 | 0.46  | Single-Family Residential | DONALD A SCHARF                               | 1427 SILVER LAKE ROAD  |
| 221-40       | 20,375 | 0.468 | Single-Family Residential | MATTHEW J WAGNER                              | 522 E MCKINLEY         |
| 221-975-03   | 20,400 | 0.468 | Single-Family Residential | CHARLES D GOEKE                               | 303 N NINTH STREET     |
| 221-235-27   | 20,550 | 0.472 | Single-Family Residential | CHAD P NELSON                                 | 349 N SEVENTH STREET   |
| 221-872      | 20,696 | 0.475 | Single-Family Residential | TYLER C VOGEL                                 |                        |
| 221-51       | 20,740 | 0.476 | Single-Family Residential | MARY J WISE                                   | 328 E MCKINLEY         |
| 221-867      | 20,776 | 0.477 | Single-Family Residential | MARK A KRUPKA                                 | 313 N EIGHTH STREET    |
| 221-235-26   | 20,900 | 0.48  | Single-Family Residential | JENNIFER RINTELMANN                           |                        |
| 221-212      | 21,000 | 0.482 | Single-Family Residential | JERALYN M LORENZ                              | 707 E MAPLE STREET     |
| 221-38       | 21,080 | 0.484 | Single-Family Residential | JOHN R AMENT                                  | 532 E MCKINLEY         |
| 221-41       | 21,125 | 0.485 | Single-Family Residential | JOHN J HLETKO                                 | 516 E MCKINLEY         |
| 221-61-15    | 21,344 | 0.49  | Single-Family Residential | JOHN GUSTAVSON                                |                        |
| 221-61-16    | 21,344 | 0.49  | Single-Family Residential | JOHN GUSTAVSON                                |                        |
| 221-219      | 21,424 | 0.492 | Single-Family Residential | GEORGE W LANGLEY                              | 805 E WALNUT STREET    |
| 221-227      | 22,000 | 0.505 | Single-Family Residential | PATRICIA ANN PRICE-ABBOTT REVOCABLE TRUST     | 822 E WALNUT STREET    |
| 221-228      | 22,000 | 0.505 | Single-Family Residential | JILLENE A JOVANOVIC                           | 814 E WALNUT STREET    |
| 221-229      | 22,000 | 0.505 | Single-Family Residential | ELIZABETH M LURVEY                            | 806 E WALNUT STREET    |
| 221-230      | 22,000 | 0.505 | Single-Family Residential | DAVID E WIG                                   | 804 E WALNUT STREET    |
| 221-231      | 22,000 | 0.505 | Single-Family Residential | JOHN D DELANEY                                | 802 E WALNUT STREET    |
| 221-939      | 22,192 | 0.509 | Single-Family Residential | DAVID W PATEK                                 | 203 E RIVER STREET     |
| 221-52       | 22,300 | 0.512 | Single-Family Residential | DANIEL J PREISER                              | 224 E MCKINLEY         |
| 221-223      | 22,500 | 0.517 | Single-Family Residential | FREDERICK E WIEDENBAUER                       | 907 E WALNUT STREET    |
| 221-878      | 22,500 | 0.517 | Single-Family Residential | KIMBERLY WINTER                               | 234 N SEVENTH STREET   |
| 221-49       | 22,826 | 0.524 | Single-Family Residential | JACQUELINE REDMOND                            | 226 E MCKINLEY         |
| 221-401      | 24,000 | 0.551 | Single-Family Residential | FRANK A MRAZ                                  | 511 N HIRZEL STREET    |
| 221-97       | 24,240 | 0.556 | Single-Family Residential | SCOTT W METZDORF                              | 426 W SHERBURN STREET  |
| 221-935      | 24,700 | 0.567 | Single-Family Residential | CRAIG PIVAR                                   | 161 E RIVER STREET     |
| 221-871      | 25,320 | 0.581 | Single-Family Residential | TYLER C VOGEL                                 | 1027 E MAPLE STREET    |
| 221-857      | 25,600 | 0.588 | Single-Family Residential | GARY C FAWCETT TRUST                          | 1033 E WALNUT STREET   |
| 221-45-01    | 25,984 | 0.597 | Single-Family Residential | MICHAEL M SMITH                               | 424 E MCKINLEY         |
| 221-971      | 26,112 | 0.599 | Single-Family Residential | CYNTHIA BUESCHEL                              | 225 N NINTH STREET     |
| 221-60-01    | 27,600 | 0.634 | Single-Family Residential | JOHN D BAIERSKI                               |                        |
| 221-61-10    | 27,600 | 0.634 | Single-Family Residential | NICOLET A BROGAN                              | 1133 E MCKINLEY        |
| 221-100      | 28,400 | 0.652 | Single-Family Residential | TERRENCE G KRSEK                              | 434 W SHERBURN STREET  |
| 221-858      | 28,448 | 0.653 | Single-Family Residential | HUBBARDS CUPBOARDS LLC                        | 1025 E WALNUT STREET   |
| 221-854      | 28,500 | 0.654 | Single-Family Residential | DAVID E NUMRICH                               | 1049 E WALNUT STREET   |
| 221-452      | 28,575 | 0.656 | Single-Family Residential | MARK HELLA TRUST                              | 620 N BOND STREET      |
| 221-50       | 29,875 | 0.686 | Single-Family Residential | THOMAS F REIS                                 | 320 E MCKINLEY         |
| 221-387      | 30,000 | 0.689 | Single-Family Residential | EMILY G O DONNELL                             | 621 N DYER PARK        |
| 221-61-14    | 30,900 | 0.709 | Single-Family Residential | JWMAT TRUST                                   | 981 E MCKINLEY         |
| 221-61-19    | 30,971 | 0.711 | Single-Family Residential | GREGORY G HIGHSTROM & HOLLY M HIGHSTROM TRUST | 807 E MCKINLEY         |
| 221-104-17   | 33115  | 0.76  | Single-Family Residential | STEVE MROCZENSKI                              |                        |
| 221-380      | 33,450 | 0.768 | Single-Family Residential | WILLIAM D TRUMP                               | 927 E SILVER LAKE ROAD |
| 221-48       | 33,900 | 0.778 | Single-Family Residential | ALLEN LUEBBE                                  | 310 E MCKINLEY         |
| 221-43       | 34,875 | 0.801 | Single-Family Residential | JOHN R WILHELM TRUST                          | 430 E MCKINLEY         |
| 221-986      | 34,900 | 0.801 | Single-Family Residential | SEAN MC JINDRICH RM                           |                        |
| 221-859      | 34,944 | 0.802 | Single-Family Residential | DANIEL L MEYER                                | 1013 E WALNUT STREET   |
| 221-42       | 35,340 | 0.811 | Single-Family Residential | CAROL D RODGERS TRUST                         | 446 E MCKINLEY         |
| 221-860      | 35,638 | 0.818 | Single-Family Residential | NATHAN CROOK                                  | 1001 E WALNUT STREET   |
| 221-874      | 36,192 | 0.831 | Single-Family Residential | OGREN TRUST                                   | 1051 E MAPLE STREET    |
| 221-881-01   | 36,750 | 0.844 | Single-Family Residential | DONALD SCHARF TRUST                           |                        |
| 221-958      | 36,750 | 0.844 | Single-Family Residential | LOIS F RUTKOWSKI                              | 2010 N ADAMS ROAD      |
| 221-61-12    | 38,000 | 0.872 | Single-Family Residential | DROBY FAMILY REVOCABLE TRUST                  | 1035 E MCKINLEY        |
| 221-458      | 38,333 | 0.88  | Single-Family Residential | CITY OF EAGLE RIVER                           | 653 N DYER PARK        |
| 221-879      | 42,600 | 0.978 | Single-Family Residential | RICHARD L ELIASON                             |                        |
| 221-44       | 43,320 | 0.994 | Single-Family Residential | CARL HABERLY                                  | 458 E MCKINLEY         |
| 221-238      | 43,639 | 1.002 | Single-Family Residential | SADEK TRUST                                   | 118 W SHERBURN STREET  |
| 221-1075-012 | 44,867 | 1.03  | Single-Family Residential | JENNY MERTEN                                  | 4461 WALL STREET       |
| 221-975-54   | 46,174 | 1.06  | Single-Family Residential | GERALD L BURKETT                              |                        |
| 221-235-25   | 46,950 | 1.078 | Single-Family Residential | NOT AVAILABLE                                 | 355 N SEVENTH STREET   |

|              |         |       |                           |                                   |                        |
|--------------|---------|-------|---------------------------|-----------------------------------|------------------------|
| 221-960-0384 | 50,094  | 1.15  | Single-Family Residential | MARY J PALO                       | 1722 ADAMS ROAD        |
| 221-975-51   | 51,401  | 1.18  | Single-Family Residential | ABUNDANT LIFE OUTREACH INC        | 210 CAPICH DRIVE       |
| 221-975-52   | 57,935  | 1.33  | Single-Family Residential | GERALD L BURKETT                  | 329 N NINTH STREET     |
| 221-958-06   | 59,242  | 1.36  | Single-Family Residential | CODY S ADELMANN                   | 611 N DYER FARM ROAD   |
| 221-239      | 59,700  | 1.371 | Single-Family Residential | ANN L LIDDLE                      | 128 W SHERBURN STREET  |
| 221-982      | 60,000  | 1.377 | Single-Family Residential | SEAN MC JINDRICH RM               | 361 N SILVER LAKE ROAD |
| 221-987      | 60,000  | 1.377 | Single-Family Residential | CARL E NELSON TRUST               | 337 N SILVER LAKE ROAD |
| 221-992      | 60,113  | 1.38  | Single-Family Residential | OUR SAVIOR EVANGELICAL CHURCH INC | 223 N SILVER LAKE ROAD |
| 221-45       | 62,678  | 1.439 | Single-Family Residential | EAGLE LAND LLC                    | 416 E MCKINLEY         |
| 221-240      | 63,756  | 1.464 | Single-Family Residential | ROSENTHAL TRUST                   | 200 W SHERBURN STREET  |
| 221-958-14   | 65,340  | 1.5   | Single-Family Residential | RICHARD D HECKEL                  |                        |
| 221-960-0361 | 65,340  | 1.5   | Single-Family Residential | WILLIAM ZUELKE                    | 933 N DYER FARM ROAD   |
| 221-461-04   | 66,211  | 1.52  | Single-Family Residential | JAMES E TOMIC TRUST               | 631 N DYER PARK        |
| 221-958-41   | 67,082  | 1.54  | Single-Family Residential | WILLIAM D SCHULTE                 |                        |
| 221-958-43   | 67,082  | 1.54  | Single-Family Residential | TIMOTHY C ELLIS-STIGLER TRUST     | 1310 LOST RIVER ROAD   |
| 221-958-44   | 68,825  | 1.58  | Single-Family Residential | ANDRIS V BLAUS                    | 1350 LOST RIVER ROAD   |
| 221-975-53   | 69,242  | 1.59  | Single-Family Residential | GOLDSWORTHY TRUST                 | 326 CAPICH DRIVE       |
| 221-958-45   | 70,132  | 1.61  | Single-Family Residential | RUSSELL RADOWICZ                  | 1230 LOST RIVER ROAD   |
| 221-99       | 73,760  | 1.693 | Single-Family Residential | KLIMES TRUST                      | 417 W SHERBURN STREET  |
| 221-960-0362 | 74,488  | 1.71  | Single-Family Residential | KATHERINE MARTIN                  |                        |
| 221-980      | 75,751  | 1.739 | Single-Family Residential | NATHAN J ARNDT                    | 707 N SILVER LAKE ROAD |
| 221-958-40   | 76,666  | 1.76  | Single-Family Residential | JACOB E MEYER                     | 1200 LOST RIVER ROAD   |
| 221-957-01   | 80,150  | 1.84  | Single-Family Residential | JOHN BOLEK                        |                        |
| 221-958-42   | 85,378  | 1.96  | Single-Family Residential | DONALD J HENSEN                   | 1400 LOST RIVER ROAD   |
| 221-960-0364 | 93,654  | 2.15  | Single-Family Residential | BKLANE PROPERTIES LLC             | 551 N DYER FARM ROAD   |
| 221-235-04   | 102,257 | 2.347 | Single-Family Residential | TIMOTHY J GAFFNEY TRUST           |                        |
| 221-232      | 110,207 | 2.53  | Single-Family Residential | CITY OF EAGLE RIVER               |                        |
| 221-958-13   | 117,176 | 2.69  | Single-Family Residential | JOHN A HEIM                       |                        |
| 221-960-0363 | 117,612 | 2.7   | Single-Family Residential | PATRICK ZDROIK                    | 1934 ADAMS ROAD        |
| 221-958-04   | 140,699 | 3.23  | Single-Family Residential | CITY OF EAGLE RIVER               |                        |
| 221-958-11   | 141,570 | 3.25  | Single-Family Residential | EVERETT L ELLINGSON               |                        |
| 221-958-12   | 144,184 | 3.31  | Single-Family Residential | JOHN S DAWSON TRUST               | 1033 N DYER FARM ROAD  |
| 221-958-21   | 144,184 | 3.31  | Single-Family Residential | JASON BOXRUCKER                   | 1440 LOST RIVER ROAD   |
| 221-958-05   | 151,589 | 3.48  | Single-Family Residential | JUDITH D ZABA TRUST               |                        |
| 221-981      | 196,891 | 4.52  | Single-Family Residential | TREES FOR TOMORROW INC            | 519 E SHERIDAN STREET  |
| 221-235-05   | 250,906 | 5.76  | Single-Family Residential | JAMES B KOGA                      |                        |







## DRAFT ORDINANCE COPY FOR DISCUSSION PURPOSES ONLY.

### ORDINANCE NO. XXX

#### AN ORDINANCE AMENDING THE VISIBILITY TRIANGLE ORDINANCE 106-263 OF THE CITY OF EAGLE RIVER TO ENHANCE TRAFFIC SAFETY AND CLARIFY REGULATORY REQUIREMENTS

WHEREAS, the City of Eagle River is committed to ensuring the safety and well-being of all its residents and visitors by maintaining clear and unobstructed visibility at intersections and other critical locations; and

WHEREAS, the current Visibility Triangle Ordinance has been identified as requiring amendments to address safety concerns, improve clarity, and ensure compliance with modern engineering standards; and

WHEREAS, the City Council recognizes the importance of balancing safety considerations with property owners' rights and community aesthetics;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Eagle River as follows:

#### SECTION 1. PURPOSE AND INTENT

The purpose of this resolution is to amend the existing Visibility Triangle Ordinance to:

- Ensure adequate sight distance for drivers, bicyclists, and pedestrians at intersections and driveways.
- Provide clear guidelines for property owners regarding permissible structures and vegetation within visibility triangles.

#### SECTION 2. AMENDMENTS TO THE VISIBILITY TRIANGLE ORDINANCE 106-263

The City Council hereby adopts the following amendments to the Visibility Triangle Ordinance:

Sec. 106-263. Visibility triangles ~~for properties adjoining State or U.S. Highways.~~

~~*This section applies only to properties adjoining State or US Highways. A visibility triangle shall be established at each corner of intersecting streets in order to provide adequate sight distance.*~~ At the intersections of streets where the intersecting streets are both at grade, visibility triangles are established for each property by drawing ~~two 30-foot lines on state or US highways, or two 20-foot lines on other City streets,~~ from back of curb or pavement edge if curb does not exist away from the start of

**Commented [RG1]:** 20-foot is our typical set back, so shouldn't cause a hardship in residential areas. Our existing ordinance states 30-feet for state and US highways.



the corner nearest to the intersection behind the curb and then drawing the connecting hypotenuse connecting the ends of the two drawn lines. Signs, fences, ~~natural~~ vegetation and other obstructions are restricted to no taller than 30 inches in height within this visibility Triangle or signs that are on poles leaving 85 percent open from 30 inches to a minimum of eight feet are also allowed. In addition, signage, fencing or ~~natural~~ vegetation or any other obstruction must not exceed 30 inches in height in the first 100 feet along ~~the any state or US~~ highway from the property corner nearest the intersection for 15 feet from the back of curb; signs that are on poles leaving 85 percent open from 30 inches to a minimum of eight feet are also allowed.

For alleyways, the visibility triangle is established using 15-foot lines on the property lines away from the start of the corner nearest to the intersection then drawing the connecting hypotenuse connecting the ends of the two drawn lines with all the same limitations, including the 100-foot strip, outlined in the preceding paragraph.

This section does not apply to signalized intersections.

*Character of Visibility Triangle. A Visibility Triangle shall contain no fences constructed of solid materials, structures, earth banks, hedges, plantings, walls or other obstructions. The following are exempted from this provision:*

- *Existing buildings constructed prior to the ordinance adoption*
- *Chain-link fences that do not obstruct visibility*
- *Public utility poles and fire hydrants*
- *Trees trimmed to the trunk*
- *Other plant species of open growth habit that are not planted in the form of a hedge and which are so planted and trimmed as to leave, in all seasons, a clear and unobstructed cross-view*
- *Official signs and signals.*

### SECTION 3. EFFECTIVE DATE

This ordinance shall take effect immediately after its passage, approval, and publication as required by law.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2025

\_\_\_\_\_  
JEFFREY A. HYSLOP, MAYOR

\_\_\_\_\_  
BECKY BOLTE, CLERK/TREASURER

Date adopted: \_\_\_\_\_