



Snowmobile Capital of the World ★ ATV/UTV Capital of Wisconsin ★ Hockey Capital of Wisconsin

### AGENDA NOTICE (8/30/2024)

THE PLANNING COMMISSION OF THE CITY OF EAGLE RIVER WILL HOLD A MEETING ON THURSDAY, SEPTEMBER 5, 2024, AT 5:00 P.M. AT CITY HALL, 525 E. MAPLE STREET IN EAGLE RIVER.

This meeting will be available by Zoom at the following link:

<https://us06web.zoom.us/j/85111695208?pwd=x5pMv8crrbsPuYwefObTYbJG0m83b3.1>

Meeting ID: 851 1169 5208

Passcode: 963936

- 1) Call to Order.
- 2) Roll Call.
- 3) Approval of minutes.
- 4) Public Hearings, discussion and possible action on the following agenda item(s):
  - a) Premier Eagle River, LLC architectural plans to construct a multi-family housing complex consisting of up to 36 units, on Parcel #221-1060-05, described as NW-NE, Sect. 34, T40N,R10E, PRT NW NE EXC 507081,547546,593411. The parcel is located at the northeast corner of US Highway 45/East Pine Street, Wall Street, and State Highway 70 East.
  - b) Public Hearing - Northwest Counseling and Guidance Clinic is seeking a conditional use permit to establish a space from 8 am to 4 pm, Monday through Friday, to provide children and adolescents with outpatient day treatment programming at 221 S. Fifth Street, Eagle River, per Ordinance 106-443 (9): Uses permitted by conditional grant: Group care and family care facilities, nursery schools. The property is described as Sect. 33, T40N, R10E, LOT 9 BLK 2 OF J F HABRICH FIRST ADDN F14.
  - c) Public Hearing - Jon T. Keckeisen is seeking a conditional use permit to place one 20' storage container at 1078 E. Wall Street for no more than one year, per Ordinance 106-473 (10): One single shipping container, painted a single color, all advertising removed, subject to existing accessory structure set-backs. The property is described as NW-NW, Sect 34, T40N,R10E, PRT NW NW.
  - d) Eagle River Revitalization – Request for placement of new shed at the east side of the Ohio/Michigan intersection, and to add additional electrical peds throughout the site for use by Farmers Market vendors.
- 5) Adjournment.

Robin Ginner, City Administrator

**Please note that, upon reasonable notice, at least 24 hours in advance, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services, or provide a video link for meetings. For additional information to request this service, please contact the City Clerk's Office at 715-479-8682 ext. 224, 525 E. Maple Street, P.O. Box 1269, Eagle River WI 54521.**



August 1, 2024

A meeting of the Plan Commission of the City of Eagle River was called to order at 5:00pm by Kim Schaffer.

Roll Call: Adam Grassl, John Hletko, Mike Adamovich, Deb Brown and Kim Schaffer. Also in attendance; Robin Ginner, Becky Bolte

*Motion Grassl, 2<sup>nd</sup> by Adamovich to approve the minutes of the 6/6/24 meeting. Carried, all.*

a) Public Hearing. Andrew Van Dyke is requesting a waiver of Item 3. Structures of the Tamarack Business Park Restrictive Covenants, in regard to Lot 12, parcel #221-1056-20, described as SE-NE, Sect. 33, T40N,R10E, which states “The primary approved use structure to be placed upon any property purchased within the Tamarack Business Park shall be constructed and completed within one year from the date of purchase of the subject real estate upon which the structure is being placed.” Andy VanDyke presented that he wants to put in a fully functional auto repair shop on Lot 12 of the Tamarack Business Park, adding he would also like to add a car wash on Lot 12. VanDyke stressed that he is not asking for a waiver of the one-year completion requirement in the Tamarack Business Park Restrictive Covenants, he is asking for an extension, requests to have 18 – 20 months from the date of purchase to complete, with August 30, 2024, as the expected closing date. Hletko questioned the time of year at end of extension stating that it made more sense to him to give 24 months so the completion extension wouldn't be ending in the builders off season. Schaffer disclosed that she works at Northwood Title, and they have been hired to do research and insure this property. Schaffer opened the public hearing. Scott Ripple, owner at 615 Commerce Loop neighbors the property in question. Ripple wanted to verify Van Dyke knew of the wetlands on property and wanted to be sure wetland were not filled, causing water spill over onto his property. Van Dyke responded that the layout of the plot won't be anywhere near the wetland area. Schaffer closed the public hearing. Grassl stated that the expectation would be all other items in Covenant be adhered to. *Motion by Brown, 2<sup>nd</sup> by Hletko to recommend to Council to approve the request of waiver of item #3 in the Tamarack Business Park Restrictive Covenants, (primary structure shall be constructed and completed within one year from the date of purchase), for Andrew Van Dyke, with recommendation to Council to approve an extension up to 24 months from the date of purchase. Carried on a roll call vote. Ayes: Brown, Hletko, Grassl, Adamovich, Schaffer. Nays: None*

b) Public Hearing. Pre/3, LLC is requesting a zoning change from Highway Commercial to Multi-Family Residential for Parcel #221-1060-05, described as NW-NE, Sect. 34, T40N,R10E, PRT NW NE EXC 507081,547546,593411. The parcel is located at the northeast corner of US Highway 45/East Pine Street, Wall Street, and State Highway 70 East. Ginner presented Pre/3 is looking to build a multi-family development of up to 36 units on proposed parcel 221-1060-05. It is zoned Highway Commercial and applicant is asking for a zoning change to Multi-Family Residential. Developer Brandon Robaidek was available via zoom. Schaffer opened the public hearing. Jason Numrich of 1515 E Wall expressed concerns of re-zoning effects on his property. Numrich asked about city sewer/water connection requirements for his home once the development connects to the City sewer and water, as he currently is not hooked up to the city system. Numrich asked about how close the buildings will be to his lot and location of access for the development. Ginner stated that there is a requirement to connect if within 100' of utilities and stated the plans and layout for the property development are expected in September. Schaffer closed the public hearing. Discussion. Grassl stated the multi-family zoning request doesn't seem out of place for the parcel as it is surrounded by all purpose and residential. *Motion by Grassl, 2<sup>nd</sup> by Brown to recommend to City Council to approve the zoning request change for parcel #221-1060-05, located at the NE corner of US Hwy 45/East Pine Street, Wallstreet, and State Hwy 70 E, from Highway Commercial to Multi-Family Residential with recommendation to update the City of Eagle River Comprehensive Plan. Carried on a roll call vote. Ayes: Grassl, Brown, Hletko, Adamovich, Schaffer Nays: None*

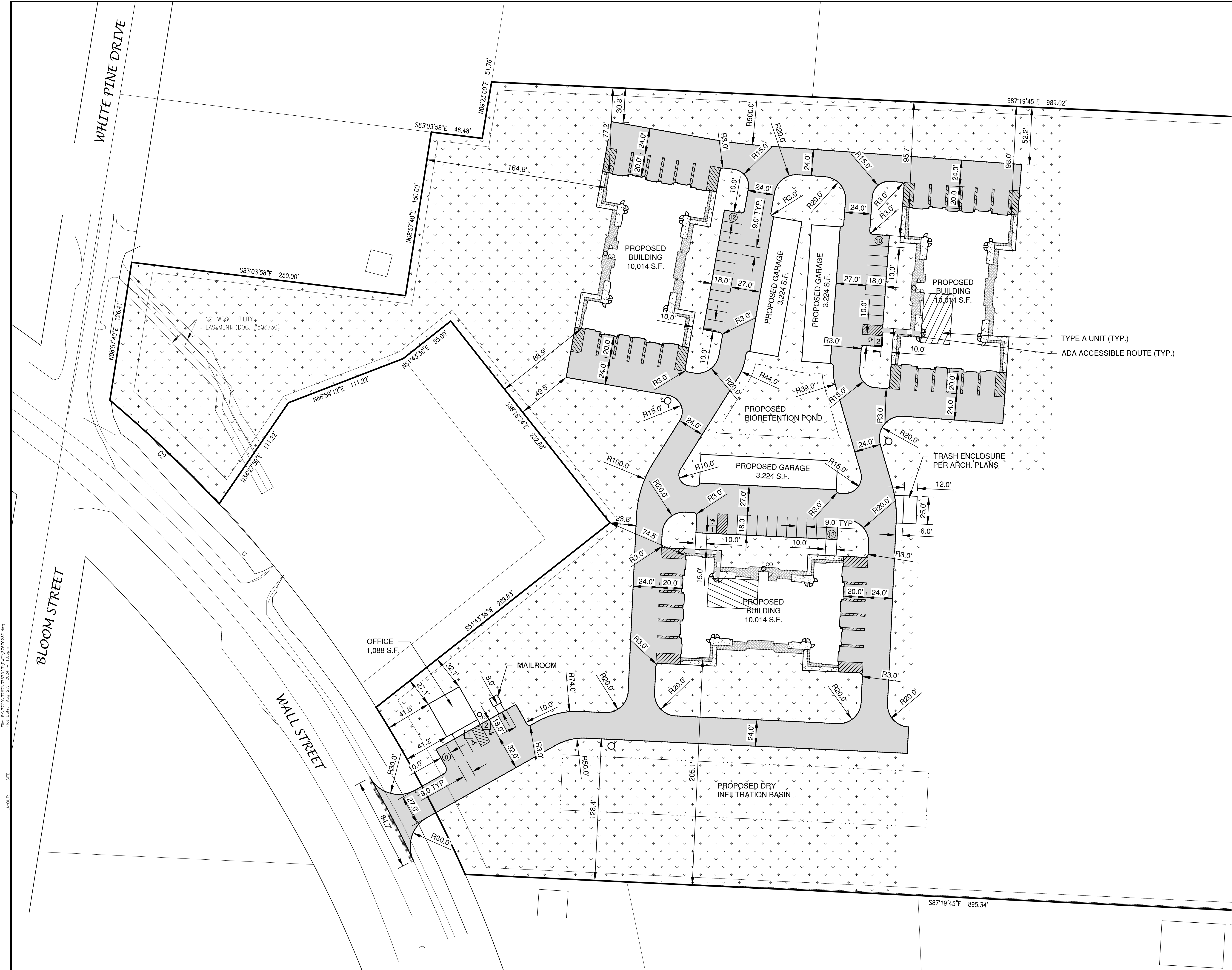
c) Public Hearing. Pre/3, LLC is requesting a conditional use permit to build a multi-family housing complex consisting of up to 36 units, pursuant to Zoning Section 106-393 Uses permitted by conditional grant: (6) Multi-family housing in excess of two units on Parcel #221-1060-05, described as NW-NE, Sect. 34, T40N,R10E, PRT NW NE EXC 507081,547546,593411. The parcel is located at the northeast corner of US Highway 45/East Pine Street, Wall Street, and State Highway 70 East. Developer Brandon Robaidek was available via zoom and gave a recap of the anticipated project. Robaidek stated that they are currently working on Phase 1; 3 apartment complexes with 12 units each, totaling 36 total units. Because there are more than two units per building, they would require a conditional use permit. Robaidek laid out expected timeframe: If conditional use permit is granted, they would come back in September 2024 with site plans and begin breaking ground shortly after that on Phase 1 of the project, with the potential of Phase 2 and 3 adding 2 buildings of 12 units each for a total of 60 possible total units. Brown asked if it would be affordable housing, with Robaidek stating that the units would be market rate. The buildings will be two stories with some one-bedroom but mostly two-bedroom units. Discussion. Schaffer opened the public hearing. Deb Numrich voiced concerns for privacy between her parcel at 1515 E Wall Street and the development. Schaffer closed the public hearing. Discussion. Grassl reiterated privacy concerns with neighbors to the developer and suggested maintaining trees along common borders to be part of the site plan. *Motion by Hletko, 2<sup>nd</sup> by Grassl to recommend to Council to approve a conditional use permit to Pre/3 LLC to build a multi-family housing complex consisting of up to 36 units on parcel 221-1060-05, with additional condition of site plan approval. Carried on a roll call vote. Ayes: Hletko, Grassl, Adamovich, Brown, Schaffer Nays: None*

d) Approval of subdivision map for Elm Drive property, Parcel #221-1058-5800 described as SE-SE, Sect. 33, T40N,R10E, PRT SE SE ORDINANCE 529833 EXC 540834. Ginner presented two separate surveys from Maines & Associates depicting different 3 parcel splits of the main parcel. The existing City stump dump is located on proposed Lot 1, consisting of 7.21 acres on both options and Adamovich confirmed appropriate room for expansion. The land sale would fund the dog park on Adams Road. Discussion on pros and cons of each of the two presented splits. Discussion centered around choosing best option for buildable land due to the wetland areas on the parcel. Map 1 gives more building room up front, closer to Elm Drive. Adamovich confirmed with Ginner that the snowmobile trail would stay as is. *Motion by Grassl, 2<sup>nd</sup> by Hletko to recommend to City Council to proceed with presented Subdivision Map 1 on Elm Drive with Lot 2 that has a 100' property line length on northeast boundary for subdivision of parcel 221-1058-5800. Carried on a roll call vote. Ayes: Grassl, Hletko, Adamovich, Brown, Schaffer Nays: None*

e) For Discussion Only: Interest in pursuing any changes to the zoning code to allow conditional use for secondary residences in single-family residential zoning. Ginner presented options for addressing the housing shortage. Discussion. Karen Margelofsky provided a publication from the League of Wisconsin Municipalities on options. Direction to Ginner to proceed with pursuing options to bring back to the Council.

*Motion by Hletko, 2<sup>nd</sup> by Adamovich to adjourn at 6:15pm.*

Becky J Bolte – Clerk



- LEGEND**
- CONCRETE PAVEMENT
  - ASPHALT PAVEMENT (LIGHT) (80,457 S.F.)
  - LANDSCAPE AREA
  - GREEN SPACE
  - TRAFFIC FLOW ARROW
  - HANDICAPPED PARKING
  - SIGN
  - INDICATES NUMBER OF PARKING STALLS
  - WALL PACK
- 1 2  
RESERVED PARKING  
RESERVED PARKING  
ADA ACCESSIBLE

\*NOTE: ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE

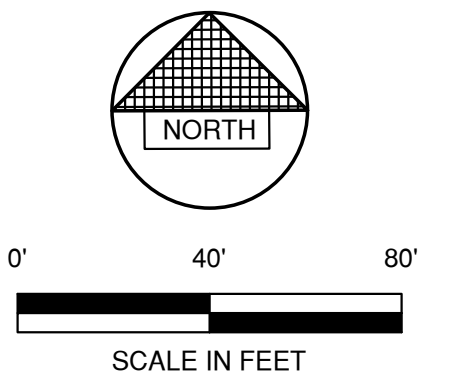
**NOTE**  
ALL DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS.

**PARKING DATA**  
TOTAL PARKING STALLS PROVIDED = 43 SURFACE, 36 COVERED  
HANDICAP ACCESSIBLE PARKING STALLS = 4

**SITE DATA**  
TOTAL AREA = 7.85 ACRES, 341,921 S.F.  
BUILDING AREA = 0.69 ACRES, 30,041 S.F. (8.79%)  
SIDEWALK/PARKING LOT AREA = 1.90 ACRES, 82,637 S.F. (24.16%)  
GREEN SPACE = 5.26 ACRES, 229,243 S.F. (67.05%)

**ZONING**  
C2 - HIGHWAY COMMERCIAL

**PARCEL NO.**  
221-1060-05



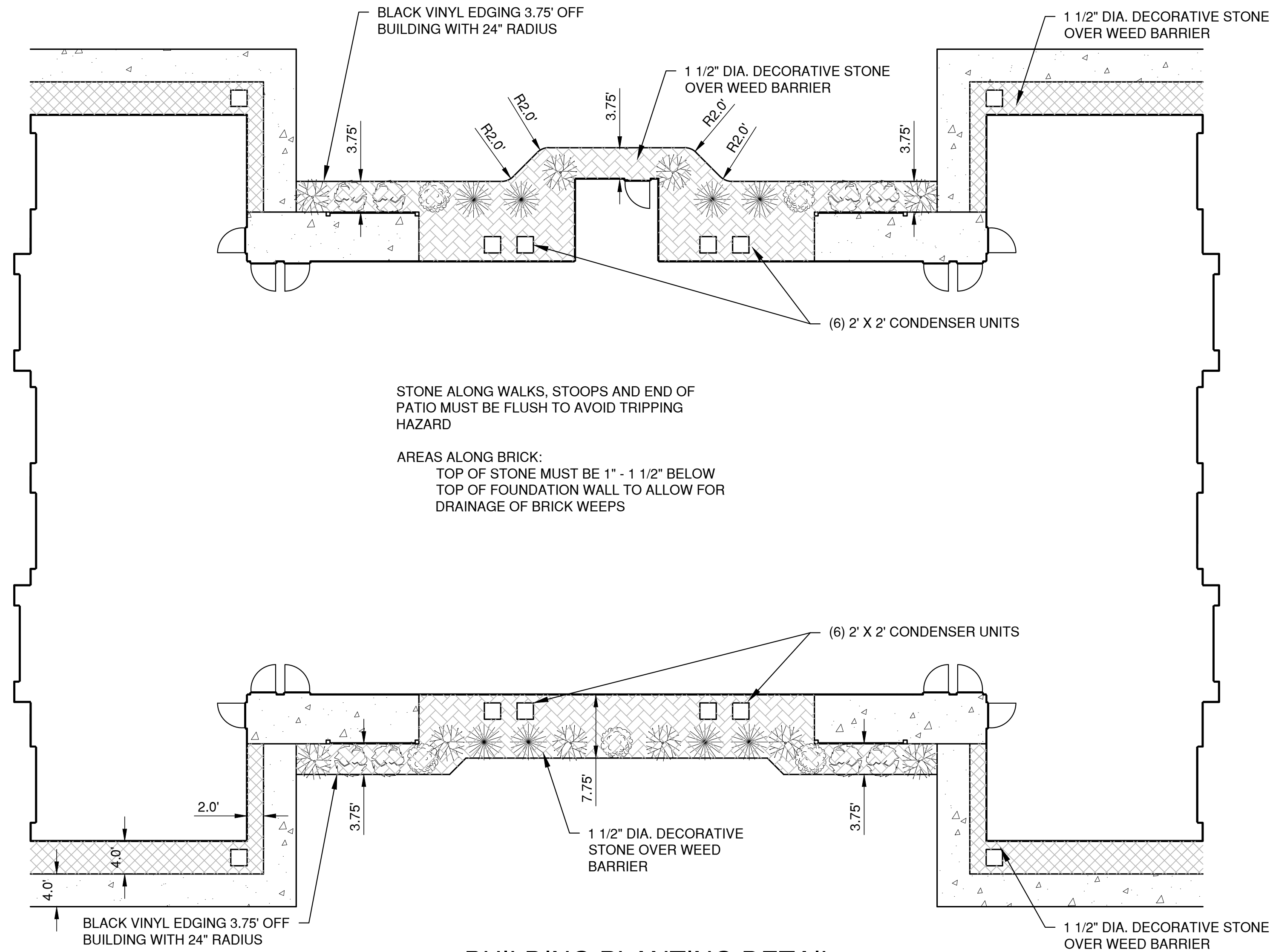
NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

WALL STREET MULTI-FAMILY  
FOR PRE/3  
CITY OF EAGLE RIVER  
VILAS COUNTY, WISCONSIN

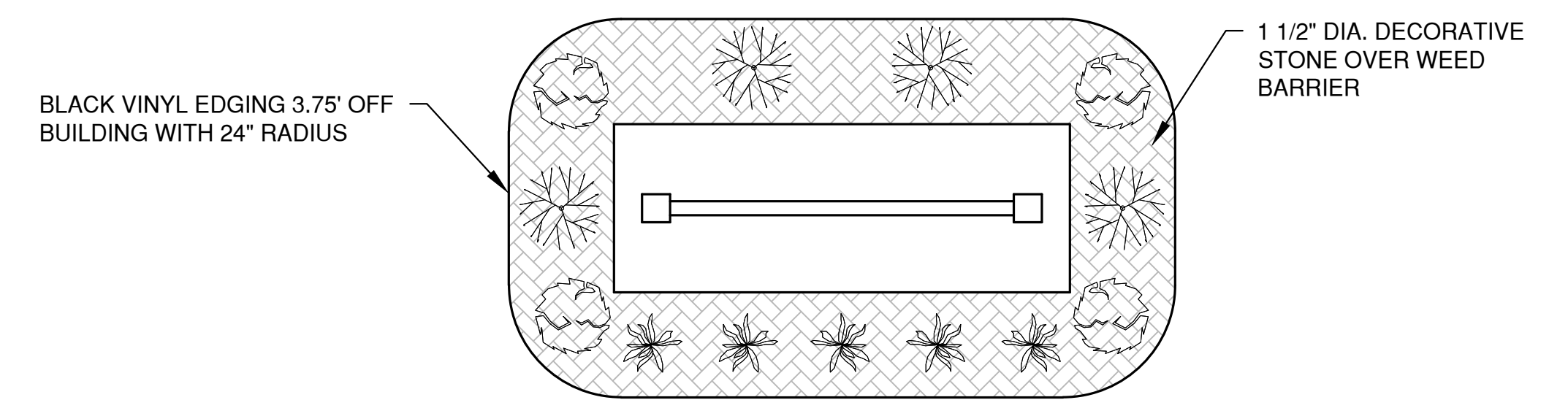
SITE PLAN

DATE 08/2024	<p>1250 Centennial Centre Blvd   Hobart, WI   920-662-9641   releinc.com</p>
FILE 3767023D	
JOB NO. 3767023	

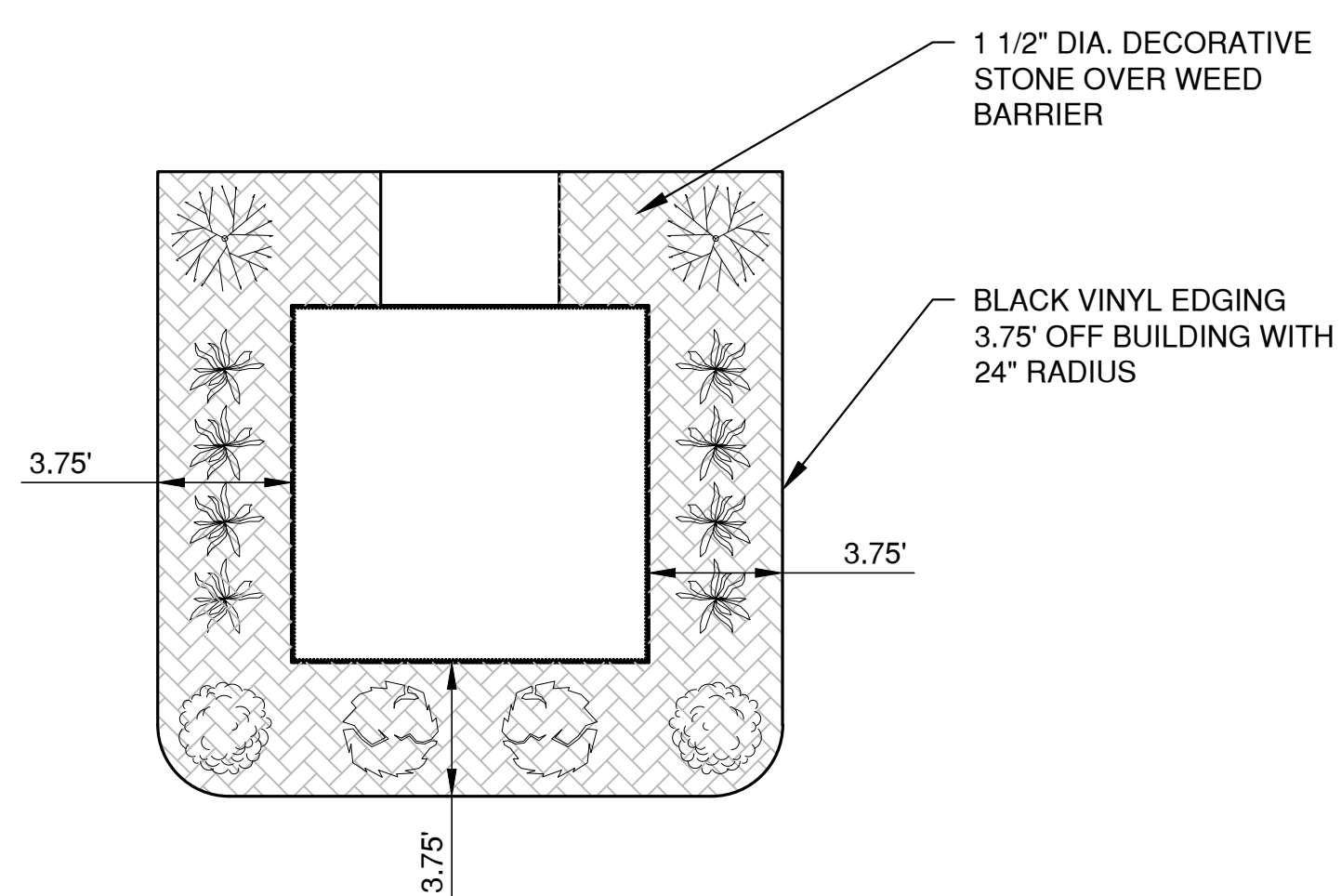
SHEET NO. 3



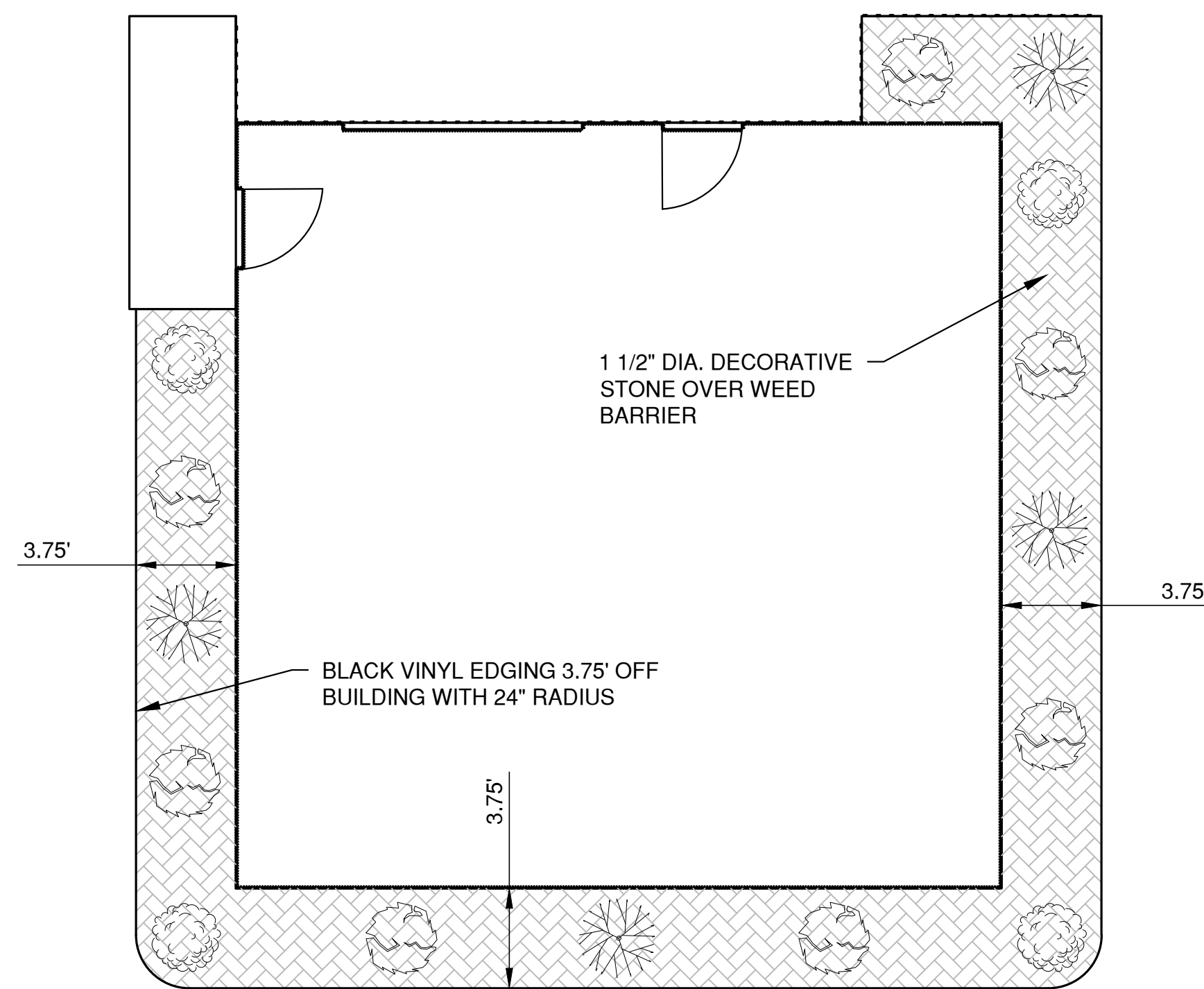
BUILDING PLANTING DETAIL



SINGLE FACED SIGN PLANTING DETAIL



MAILROOM PLANTING DETAIL



OFFICE / GARAGE PLANTING DETAIL

LEGEND

SYMBOL	SPECIES		PLANT SIZE
	COMMON NAME	SCIENTIFIC NAME	
	Goldfinger Potentilla	<i>Potentilla Fructicosa 'Goldfinger'</i>	3 GAL.
	Hetz Midget Arborvitae	<i>Thuja Occidentalis 'Hetz Midget'</i>	5 GAL.
	Bluemuffin Arrowwood Viburnum	<i>Viburnum Dentatum 'Christom'</i>	5 GAL.
	Goldflame Spirea	<i>Spirea x Bumala 'Goldflame'</i>	3 GAL.
	Stella D' Oro Dwarf Daylily	<i>Hemerocallis x 'Stella de Oro'</i>	1 GAL.

File: R:\3700\_3747\37470233\_0660\37470233.dwg  
 Plot Date: Aug 27, 2024 9:20:09am  
 LANDSCAPE  
 LAYOUT:

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

DRAWN: REG/KDC  
 CHECKED: AJS  
 DESIGNED: BDR  
 WALL STREET MULTI-FAMILY  
 FOR PRE/3  
 CITY OF EAGLE RIVER  
 VILAS COUNTY, WISCONSIN

LANDSCAPE PLAN  
 DATE: 08/2024  
 FILE: 3767023D  
 JOB NO.: 3767023

DATE: 08/2024  
 FILE: 3767023D  
 JOB NO.: 3767023

1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releinc.com

SHEET NO.  
**7**

# PROPOSED 12 UNIT APARTMENT BUILDING FOR: NICOLET LUMBER CO. EAGLE RIVER, WISCONSIN

LLOYD CARPENTER  
ARCHITECT

ARCHITECTURAL SERVICES  
2663 Maple Hills Drive  
Green Bay, Wisconsin 54313  
920 655 3829  
carp.arch@gmail.com

SHEET INDEX		
SHEET NUMBER	SHEET DESCRIPTION	STATE APPROVAL/ CONSTRUCTION SET 9-4-22
G100	COVER SHEET & PROJECT NOTES	X
CIVIL		
3	SITE PLAN	X
ARCHITECTURAL		
A100	FIRST FLOOR PLAN & NOTES	X
A110	SECOND FLOOR PLAN & NOTES	X
A120	ROOF PLAN & WALL TYPES	X
A200	ENLARGED FIRST FLOOR PLAN	X
A210	ENLARGED FIRST FLOOR PLAN	X
A220	ENLARGED SECOND FLOOR PLAN	X
A230	ENLARGED SECOND FLOOR PLAN	X
A300	BUILDING ELEVATIONS & NOTES	X
A400	CROSS SECTION & NOTES	X
A410	BUILDING SECTIONS & NOTES	X
A420	BUILDING SECTIONS & NOTES	X
A430	BUILDING SECTIONS & NOTES	X
A500	INTERIOR ELEVATIONS & NOTES	X
A700	A.D.A. NOTES & DETAILS	X
A702	A.D.A. NOTES & DETAILS	X
STRUCTURAL		
S1.0	FOUNDATION PLAN	X
S1.1	SECOND FLOOR FRAMING PLAN	X
S1.2	ROOF FRAMING PLAN	X
S6.0	STRUCTURAL DETAILS	X
S6.1	STRUCTURAL DETAILS	X

**PLAN CONDITIONALLY APPROVED**  
No Variation of this Plan is Permitted without the Approval of E-Plan Exam and the Municipal Building Inspection Department. See Plan Review Letter and/or Permit for additional conditions that must be addressed during construction prior to inspection.  
Review Type: Building & Structure Review Only  
Approved By: John J. Cunningham Date: 09/15/2022



## GENERAL PROJECT NOTES

- THE ARCHITECT/ENGINEER MAINTAINS NO RESPONSIBILITY FOR THE GENERAL CONTRACTOR, SUBCONTRACTORS, OR THOSE WORKING IN SUCH CAPACITIES. FOR THE METHODS USED, OR LACK THEREOF, IN THE EXECUTION OF THE WORK AND SAFETY PROCEDURES AND PRECAUTIONS TAKEN AT THE PROJECT SITE.
- SUBCONTRACTORS SHALL ASSUME FULL RESPONSIBILITY - UNRELIEVED BY REVIEW OF SHOP DRAWINGS NOR BY SUPERVISION OR PERIODIC OBSERVATION OF CONSTRUCTION FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS - FOR DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS, FOR FABRICATION, PROCESSES AND CONSTRUCTION TECHNIQUES (INCLUDING EXCAVATION, SHORING, SCAFFOLDING, BRACING, ERECTION, FORM WORK, ETC.); FOR COORDINATION OF THE VARIOUS TRADES, FOR SAFE CONDITIONS ON THE JOB SITE AND FOR THE PROTECTION OF THE PEOPLE AND PROPERTY AT THE JOB SITE.
- VARIATIONS IN FIELD CONDITIONS RELATIVE TO THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE ENGINEER. WORK SHALL NOT PROGRESS UNTIL WRITTEN PERMISSION FROM THE ENGINEER IS OBTAINED.
- THE INFORMATION CONTAINED ON THE DRAWINGS IS IN ITSELF INCOMPLETE, AND VOID, UNLESS USED IN CONJUNCTION WITH ALL THE SPECIFICATIONS, TRADE PRACTICES, OR APPLICABLE STANDARDS, CODES, ETC. INCORPORATED THEREIN BY REFERENCE, OF WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE BY SIGNING THE CONTRACT.
- ARCHITECT/ENGINEER'S REVIEW OF DRAWINGS PREPARED BY THE CONTRACTORS, SUPPLIERS, ETC. ARE ONLY FOR THE CONFORMANCE WITH THE DESIGN CONCEPT. CONSTRUCTION SHALL NOT START WITHOUT SAID REVIEW, AND ONLY SHOP DRAWINGS STAMPED BY THE ARCHITECT/ENGINEER WILL BE ALLOWED AT THE JOB SITE.
- DRAWINGS ARE NOT TO BE USED FOR SHOP DETAILING OF FOR CONSTRUCTION UNLESS SPECIFICALLY STAMPED BY THE ARCHITECT/ENGINEER ON THE DRAWINGS "FOR DETAILING" OR "FOR CONSTRUCTION". THESE DRAWINGS ARE NOT TO BE REPRODUCED FOR THE PURPOSE OF USING THEM AGAIN AS SHOP DRAWINGS.
- UNLESS NOTED OTHERWISE, ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR SITUATIONS ELSEWHERE.
- ALL DIMENSIONS ON STRUCTURAL DRAWINGS ARE TO BE CHECKED BY THE SUBCONTRACTOR AGAINST ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE CONFIRMING AND CORRELATING OF ALL DIMENSIONS ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS AND TRADES.
- SEE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL OPENINGS, SLEEVES, EQUIPMENT PADS, DEPRESSIONS, CURBS, FLOOR FINISHES, INSERTS, AND OTHER EMBEDDED ITEMS.
- UNLESS OTHERWISE SHOWN OR NOTED, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND THE PLACEMENT OF ANY INSERTS, HANGERS, PIPE SLEEVES, HOLES, OR ANCHOR BOLTS THAT ARE REQUIRED BY THE MECHANICAL OR ELECTRICAL EQUIPMENT.
- THE SUBCONTRACTOR SHALL COMPLY WITH THE LATEST OCCUPATIONAL SAFETY AND HEALTH ACT REQUIREMENTS.
- ALL CONSTRUCTION SHALL BE PERFORMED IN STRICT CONFORMANCES WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES.

## BUILDING CODE ANALYSIS

CURRENT CODES	2015 INTERNATIONAL BUILDING CODE W/ WISCONSIN INSERTS	
BUILDING USE	R-2: RESIDENTIAL & U: PRIVATE ATTACHED GARAGES	
CONSTRUCTION CLASSIFICATION	VB	
FIRE SUPPRESSION SYSTEMS	NFPA 13R FIRE SPRINKLER SYSTEM	
ALLOWABLE BUILDING HEIGHT	60 FEET	
ALLOWABLE AREA	21,000 SQ. FT - TWO STORY ( WITH SPRINKLER SYSTEM )	
FLOOR AREA / OCCUPANCY	BUILDING AREA	OCCUPANCY
FIRST FLOOR	10,148 S.F.	R-2
SECOND FLOOR	10,456 S.F.	R-2
TOTAL SQUARE FOOTAGE	20,694 S.F.	R-2
REQUIRED FIRE RESISTANCE RATINGS:		
1 HOUR FIRE RATED WALL ASSEMBLY TO SEPARATE UNITS FROM UNITS UL U305 TO UNDERSIDE OF CEILING		
1 HOUR FIRE RATED WALL ASSEMBLY TO SEPARATE GARAGE FROM UNITS - BUILT TO UNDERSIDE OF CEILING		
1 HOUR FIRE BARRIER WALL ASSEMBLY TO SEPARATE GARAGE FROM UNITS - BUILT TO UNDERSIDE OF FLOOR SHEATHING ABOVE		
EXITING ANALYSIS:		
TOTAL OCCUPANCY = 76.54		
TOTAL BUILDING EXIT WIDTH REQUIREMENT ( 76.54 X 0.20 ) = 15.3 INCHES (36 INCHES PROVIDED FOR EA. UNIT)		
NUMBER OF EXITS REQUIRED: 1 - 1 EXIT PROVIDED FOR EA. UNIT)		
TOILET FIXTURE REQUIREMENTS-OCCUPANT LOAD PER 2015 INTERNATIONAL BUILDING CODE W/ WISCONSIN INSERTS		
OCCUPANT LOAD - 76.54		
PLUMBING FIXTURES REQUIRED: 1 KITCHEN SINK, TOILET, BATH AND LAVATORY PROVIDED IN EACH UNIT. SEE PLAN		

## VICINITY MAP



## GRAPHIC LEGEND

- (A) COLUMN GRID
- 1/A306 BUILDING/WALL SECTION REFERENCE
- X/XXX ELEVATION REFERENCE
- 100 DOOR NUMBER
- X WINDOW/STOREFRONT TYPE SYMBOL
- 1/XXX DETAIL SECTION REFERENCE
- RESTROOM ROOM NAME
- 100 ROOM NUMBER
- A PARTITION TYPE SYMBOL & LETTER
- SHEET NUMBER
- A 100 SHEET NUMBER IN CHAPTER CHAPTER LETTER
- 1/A100 SHEET NUMBER REFERENCE DETAIL NUMBER ON SHEET
- X/XXX LARGE SCALE DETAIL PLAN, PLAN SECTION, OR VERTICAL SECTION REFERENCE
- 100'-0" F.F.E. LEVEL DATUM AND ELEVATION POINT
- 2 REVISION NUMBER/LETTER AND DELTA SYMBOL "CLOUDED" AREA REVISED

## CONTACT LIST

- OWNER**  
PREMIER WATERFORD, LLC  
3120 GATEWAY ROAD  
BROOKFIELD, WI  
PHONE: 262-790-4560  
CONTACT: CHRISTOPHER SLATER
- PROJECT ARCHITECT**  
LLOYD CARPENTER-ARCHITECT  
2663 MAPLE HILLS DRIVE  
GREEN BAY, WISCONSIN 54303  
PHONE: 920-655-3829  
FAX: -  
CONTACT: LLOYD CARPENTER
- STRUCTURAL**  
EF ASSOCIATES  
2012 ANGLE AVENUE  
GREEN BAY, WISCONSIN  
PHONE: 920-632-7685  
FAX: -  
CONTACT: JEFF REEP
- CIVIL ENGINEER**  
ROBERT E. LEE & ASSOCIATES  
1250 CENTENNIAL CENTRE BLVD  
HOBART, WI, 54155  
PHONE: 920-862-9641  
FAX: -  
CONTACT: -
- GENERAL CONTRACTOR**  
NICOLET LUMBER CO.  
4050 NICOLET DRIVE  
GREEN BAY, WI  
PHONE: 920-866-2629  
FAX: -  
CONTACT: DENNIS HERMANS

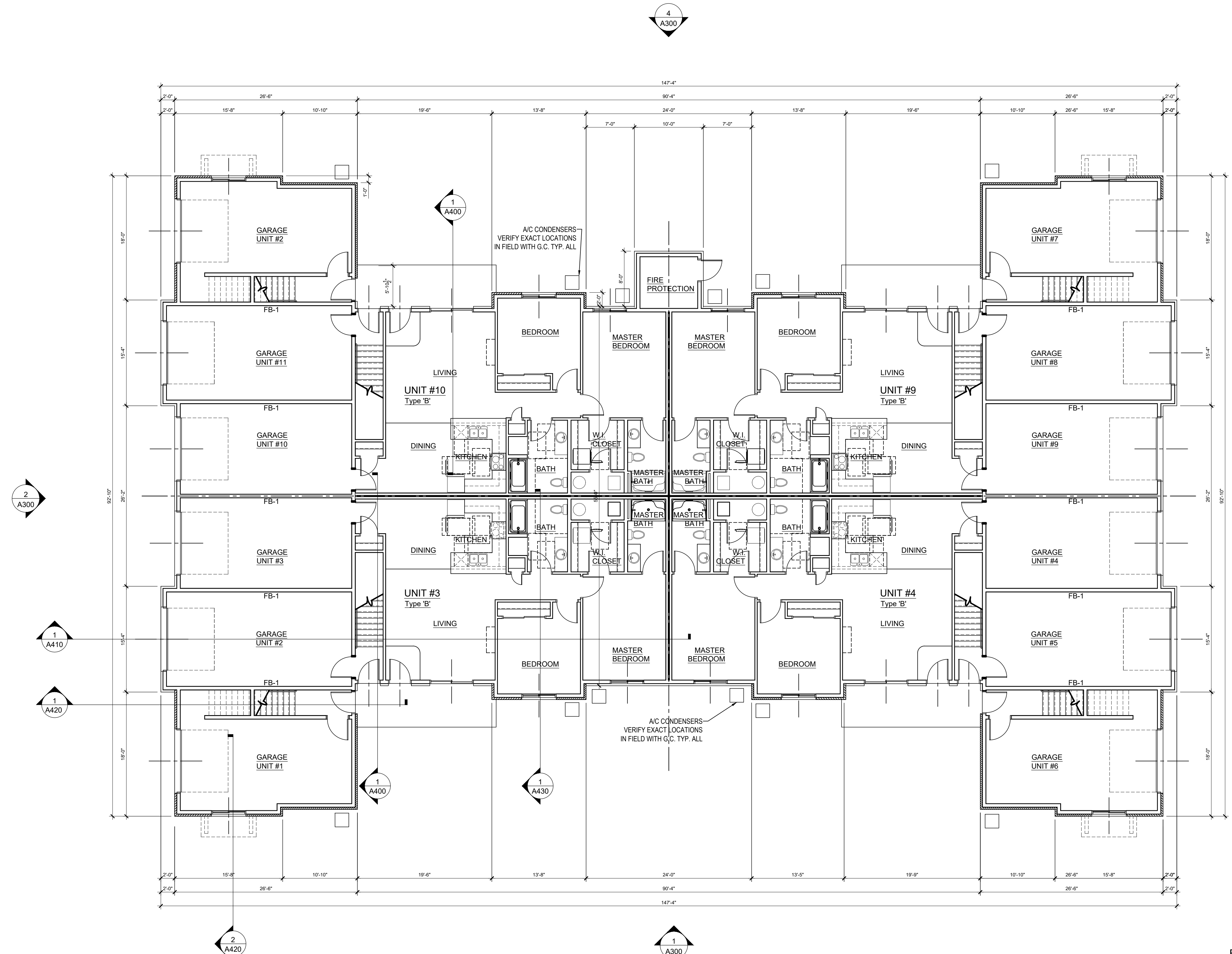
PROPOSED 12 UNIT APARTMENT BUILDING FOR:  
**NICOLET LUMBER CO.**  
EAGLE RIVER, WISCONSIN

DESIGNED BY: LCA  
APPROVED BY: LCA  
DATE: 9-8-22  
SCALE: AS SHOWN  
JOB NUMBER

TITLE  
COVER SHEET

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.  
CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

G100



**1 OVERALL FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**PLAN CONDITIONALLY APPROVED**  
No Variation of this Plan is Permitted without the Approval of E-Plan Exam and the Municipal Building Inspection Department. See Plan Review Letter and/or Permit for additional conditions that must be addressed during construction prior to inspection.  
Review Type: Building & Structure Review Only  
Approved By: John J. Cunningham Date: 09/15/2022

**LLOYD CARPENTER ARCHITECT**  
ARCHITECTURAL SERVICES  
2663 Maple Hills Drive  
Green Bay, Wisconsin 54313  
920.655.3829  
carp.arch@gmail.com

REVISION/ISSUE		
No.	DATE	DESCRIPTION

**PROPOSED 12 UNIT APARTMENT BUILDING FOR:**  
**NICOLET LUMBER CO.**  
 EAGLE RIVER, WISCONSIN

FB-1 = 1 HOUR FIRE BARRIER WALL UL U305  
WALLS SHALL CONTINUE THROUGH FLOOR SYSTEM TO THE UNDERSIDE TO THE FLOOR SHEATHING ABOVE.

**FLOOR PLAN NOTES:**

- BUILDING SHALL BE SPRINKLERED PER NFPA13R.
- SEE A120 FOR WALL TYPES.
- SEE A120 FOR BATH TUB AT UNIT WALL DETAIL.
- STAIR HANDRAILS: ALL HANDRAILS SHALL WITHSTAND 200# LOAD APPLIED IN ANY DIRECTION. BRACKETS SHALL BE 32" O.C. PROVIDE BLOCKING AS REQUIRED.
- LOCATE ATTIC ACCESS ON SECOND FLOOR AS INDICATED. ATTIC ACCESS HATCHES SHALL BE 1 HR FIRE RATED UL LABELED ASSEMBLIES.
- ALL SECOND FLOOR WATER HEATERS AND WASHERS SHALL BE PROVIDED WITH AN OVERFLOW PAN WITH DRAIN TO PREVENT DISCHARGE WATER FROM ENTERING UNIT.
- PLUMBER TO INSTALL 1/2" FIRECODE GYP. BD. ON BOTTOM OF FLOOR SHEATHING BELOW ANY HOLE CUT OUT AT TUB OR SHOWER BEFORE RUNNING DRAIN LINE THRU FLOOR. FIRCAULK OPENING.
- ALL LUMBER USED IN THE CONSTRUCTION OF SECOND FLOOR DECKS SHALL BE TREATED DECAY RESISTANT LUMBER. VERIFY RAILINGS AND BALLUSTER MATERIALS WITH OWNER. RAILINGS TO WITHSTAND 200# LOAD APPLIED IN ANY DIRECTION. BALLUSTERS DESIGNED TO PREVENT PASSAGE OF OBJECT 4" IN DIAMETER.
- SEE DETAIL AT TUB OR SHOWER. ASSURE 1 HOUR RATING AT WALLS AND SECOND FLOOR BY INSTALLING FIRE RATED GYP. BD. AT WALLS OR PLYWOOD SHEATHING PER UL L550.
- NO OPENINGS AROUND PIPE, ELECTRIC BOXES, CONDUITS, DUCTS OR OTHER PENETRATING ITEMS THROUGH A FIRE-PROTECTIVE MEMBRANE (EITHER GYP. BD. OR SHEATHING) SHALL BE MORE THAN 1/2". IF MORE THAN 1/2", SEAL ALL OPENINGS WITH A FIRE-STOP PRODUCT OR DEVICE THAT IS TESTED AND LISTED BY AN APPROVED TESTING LAB UNDER ASTM E814. ELECTRICAL BOXES MUST BE CLASSIFIED FOR FIRE RESISTANCE OR "METALIC OUTLET BOXES THAT ARE LISTED BY AN APPROVED TESTING LABORATORY. BOXES MUST NOT BE MORE THAN 16 SQ. IN. DO NOT INSTALL ON OPPOSITE SIDES OF WALLS. SPACE BOXES 24" MIN. HORIZONTALLY ON OPPOSITE SIDES OF WALLS. TOTAL AGGREGATE OF ALL SUCH OPENINGS SHALL NOT EXCEED 100 SQ. IN.

- INSULATION CONTRACTOR SHALL SUPPLY A SIGNED AND DATED CERTIFICATION FOR THE INSULATION INSTALLED IN EACH ELEMENT, LISTING THE TYPES INSULATION INSTALLATIONS IN ROOF/Ceilings, THE MANUFACTURER AND THE R-VALUE. FOR BLOWN INSULATION, THE INSTALLER SHALL ALSO PROVIDE THE INITIAL INSTALLED THICKNESS, THE SETTLED THICKNESS, THE COVERAGE AREA, AND THE NUMBER OF BAGS INSTALLED. POST THE FINAL CERTIFICATE ON SITE.

**FIRE ALARM SYSTEM NOTES:**

- VERIFY ALL LOCAL AND STATE REQUIREMENTS.
- EACH LIVING UNIT SHALL HAVE A FIRE ALARM STATION LOCATED AT THE EXIT OF THE UNIT ON FIRST FLOOR AND AT THE TOP OF THE STAIRS AT SECOND FLOOR UNITS AND A HORN LOCATED IN HALL BY BEDROOMS.
- ALL SMOKE DETECTORS SHALL BE DIRECTLY AND PERMANENTLY WIRED TO A PROPER UNSWITCHED CIRCUIT AND BE PROVIDED WITH A BACKUP POWER SOURCE.
- ALL SMOKE DETECTORS SHALL BE LOCATED IN HALL 6" BEDROOM DOOR AND IN EACH BEDROOM.
- SMOKE DETECTORS SHALL BE LOCATED IN THE UTILITY ROOM AND SHALL BE WIRED TO AN UNSWITCHED CIRCUIT W/ EMERGENCY POWER BACKUP.

**ELECTRICAL NOTES:**

- ELECTRICAL DESIGNER/ CONTRACTOR SHALL PROVIDE HIGH EFFICIENCY LAMPS IN A MINIMUM OF 50% OF THE FIXTURES PER IECC 404.1.

DESIGNED BY: LCA  
 APPROVED BY: LCA  
 DATE: 9-8-22  
 SCALE: AS SHOWN  
 JOB NUMBER

TITLE  
**FIRST FLOOR PLAN**  
WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS.  
 CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

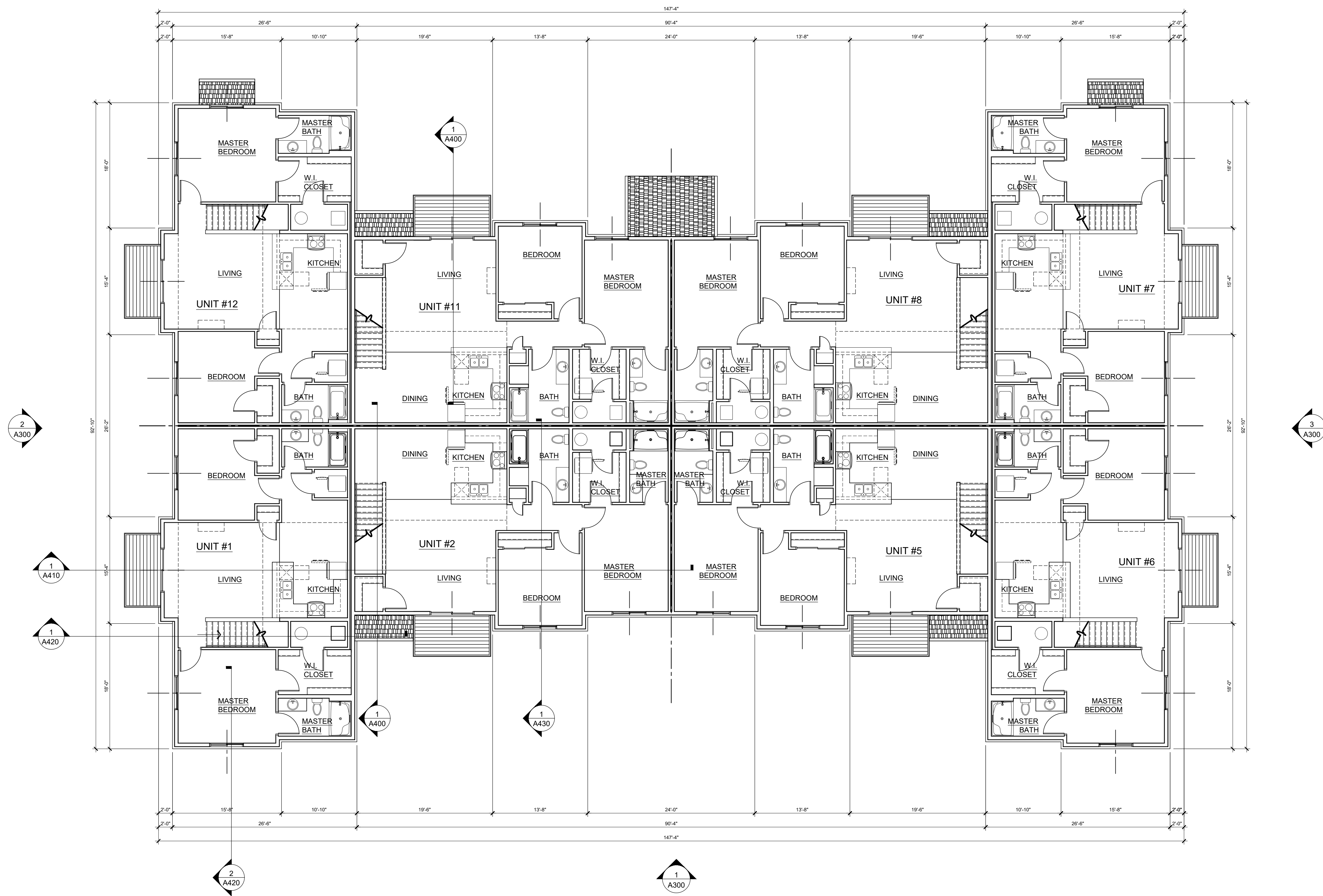
**A100**



**PLAN CONDITIONALLY APPROVED**  
 No Variation of this Plan is Permitted without the Approval of E-Plan Exam and the Municipal Building Inspection Department. See Plan Review Letter and/or Permit for additional conditions that must be addressed during construction prior to inspection.  
 Review Type: Building & Structure Review Only  
 Approved By: John J. Cunningham Date: 09/15/2022

**LLOYD CARPENTER ARCHITECT**  
 ARCHITECTURAL SERVICES  
 2663 Maple Hills Drive  
 Green Bay, Wisconsin 54313  
 920.655.3829  
 carp.arch@gmail.com

REVISION/ISSUE		
No.	DATE	DESCRIPTION



**1 OVERALL SECOND FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

**PROPOSED 12 UNIT APARTMENT BUILDING FOR:**  
**NICOLET LUMBER CO.**  
 EAGLE RIVER, WISCONSIN

DESIGNED BY:	LCA
APPROVED BY:	LCA
DATE:	9-8-22
SCALE:	AS SHOWN
JOB NUMBER	

TITLE  
**SECOND FLOOR PLAN**

**A110**

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.  
 CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

REVISION/ISSUE

No.	DATE	DESCRIPTION

PROPOSED 12 UNIT APARTMENT BUILDING FOR:  
**NICOLET LUMBER CO.**  
EAGLE RIVER, WISCONSIN

PROJECT: \_\_\_\_\_  
DESIGNED BY: LCA  
APPROVED BY: LCA  
DATE: 9-8-22  
SCALE: AS SHOWN  
JOB NUMBER: \_\_\_\_\_

TITLE  
**ENLARGED FIRST FLOOR PLAN**  
WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.  
CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.  
**A200**

MARK	TYPE	DESCRIPTION	HARDWARE
(A)	EXTERIOR ENTRY	3'-0" X 6'-8" INSULATED 6 PANEL DOOR. 20 MINUTE LABEL.	ADA APPROVED HARDWARE, 3 SELF CLOSING HINGES, DEADBOLT, LEVER HANDLE, VIEWER, UNIT NUMBER.
(B)	GARAGE ENTRY	3'-0" X 6'-8" INSULATED 6 PANEL DOOR. 20 MINUTE LABEL.	ADA APPROVED HARDWARE, 3 SELF CLOSING HINGES, DEADBOLT, LEVER HANDLE.
(C)	INTERIOR	3'-0" X 6'-8" LEGACY HOLLOW CORE W/ WOOD FRAME	VERIFY W/ OWNER.
(D)	INTERIOR	2'-6" X 6'-8" LEGACY HOLLOW CORE W/ WOOD FRAME	VERIFY W/ OWNER.
(E)	INTERIOR	1'-6" X 6'-8" LEGACY HOLLOW CORE W/ WOOD FRAME	VERIFY W/ OWNER.
(F)	INTERIOR	6'-0" X 6'-8" 2 PANEL SLIDE BY HOLLOW CORE W/ WOOD FRAME.	VERIFY W/ OWNER.
(G)	EXTERIOR	6'-5 1/2" X 6'-8" "QUAKER" PATIO DOOR W/ LOW "E" TEMPERED GLAZING. 2" GRILLES. ADA COMPLIANT. VERIFY WIDTH.	VERIFY W/ OWNER.
(H)	GARAGE	9'-0" X 7'-0" RAISED PANEL INSULATED OVERHEAD DOOR.	1/2" H.P. OPENER W/ 3 FUNCTION WALL CONTROL, ONE CAR REMOTE, AND KEYLESS ENTRY PAD.

NAME	WALL	BASE	FLOOR	CEILING
FOYER	TEXTURED PAINT ON DRYWALL	WOOD	WOOD LAMINATE	TEXTURED PAINT ON DRYWALL
LIVING	TEXTURED PAINT ON DRYWALL	WOOD	CARPET	TEXTURED PAINT ON DRYWALL
KITCHEN	TEXTURED PAINT ON DRYWALL	WOOD	VINYL	TEXTURED PAINT ON DRYWALL
DINETTE	TEXTURED PAINT ON DRYWALL	WOOD	CARPET	TEXTURED PAINT ON DRYWALL
HALL	TEXTURED PAINT ON DRYWALL	WOOD	CARPET	TEXTURED PAINT ON DRYWALL
BEDROOM	TEXTURED PAINT ON DRYWALL	WOOD	CARPET	TEXTURED PAINT ON DRYWALL
BATH	TEXTURED PAINT ON DRYWALL	WOOD	VINYL	TEXTURED PAINT ON DRYWALL
MASTER BEDROOM	TEXTURED PAINT ON DRYWALL	WOOD	CARPET	TEXTURED PAINT ON DRYWALL
MASTER BATH	TEXTURED PAINT ON DRYWALL	WOOD	VINYL	TEXTURED PAINT ON DRYWALL
LAUNDRY	TEXTURED PAINT ON DRYWALL	WOOD	VINYL	TEXTURED PAINT ON DRYWALL
CLOSET	TEXTURED PAINT ON DRYWALL	WOOD	CARPET	TEXTURED PAINT ON DRYWALL
HVAC	TEXTURED PAINT ON DRYWALL	NONE	NONE	TEXTURED PAINT ON DRYWALL

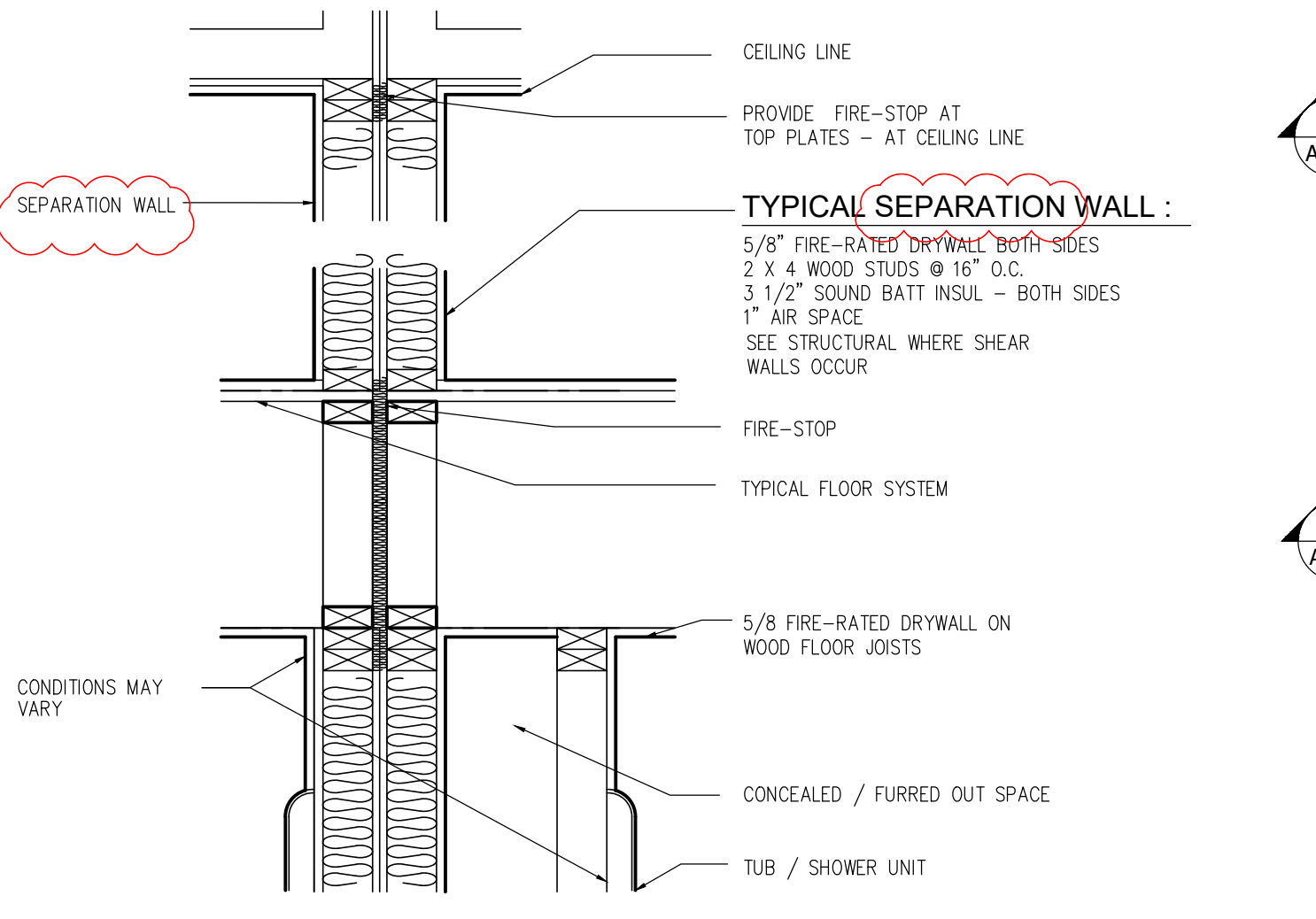
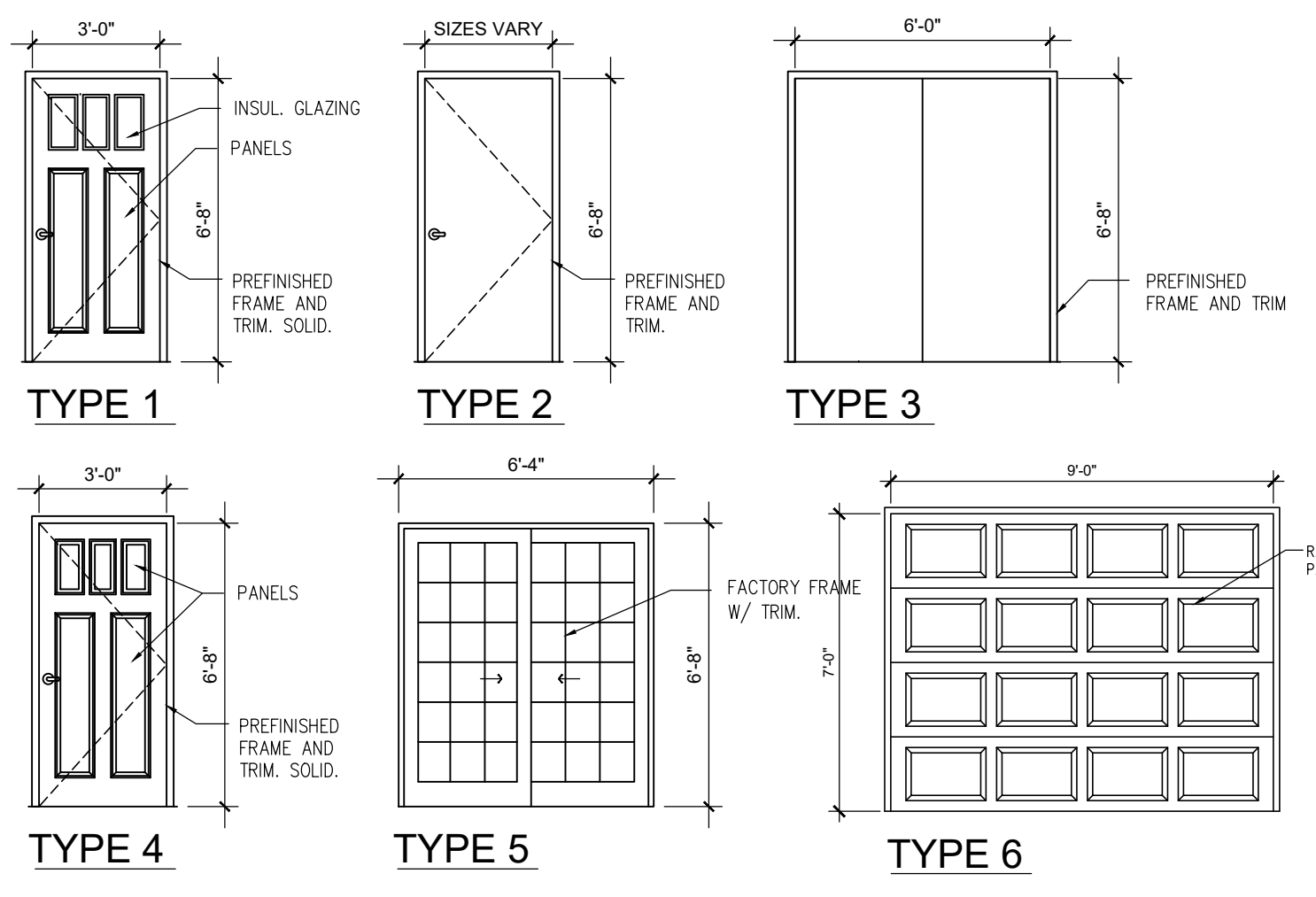
MARK	UNIT (S)	ROUGH OPENING	GLAZING	REMARKS	U-VALUE	REMARKS
1	SLIDER 5038	60 3/4" x 44 1/2" VERIFY	LOW "E" INSUL. GL.	UPPER SASH GRILLES & SCREENS REQUIRED	0.25	0.21

**WINDOW AND SLIDING DOOR NOTES:**

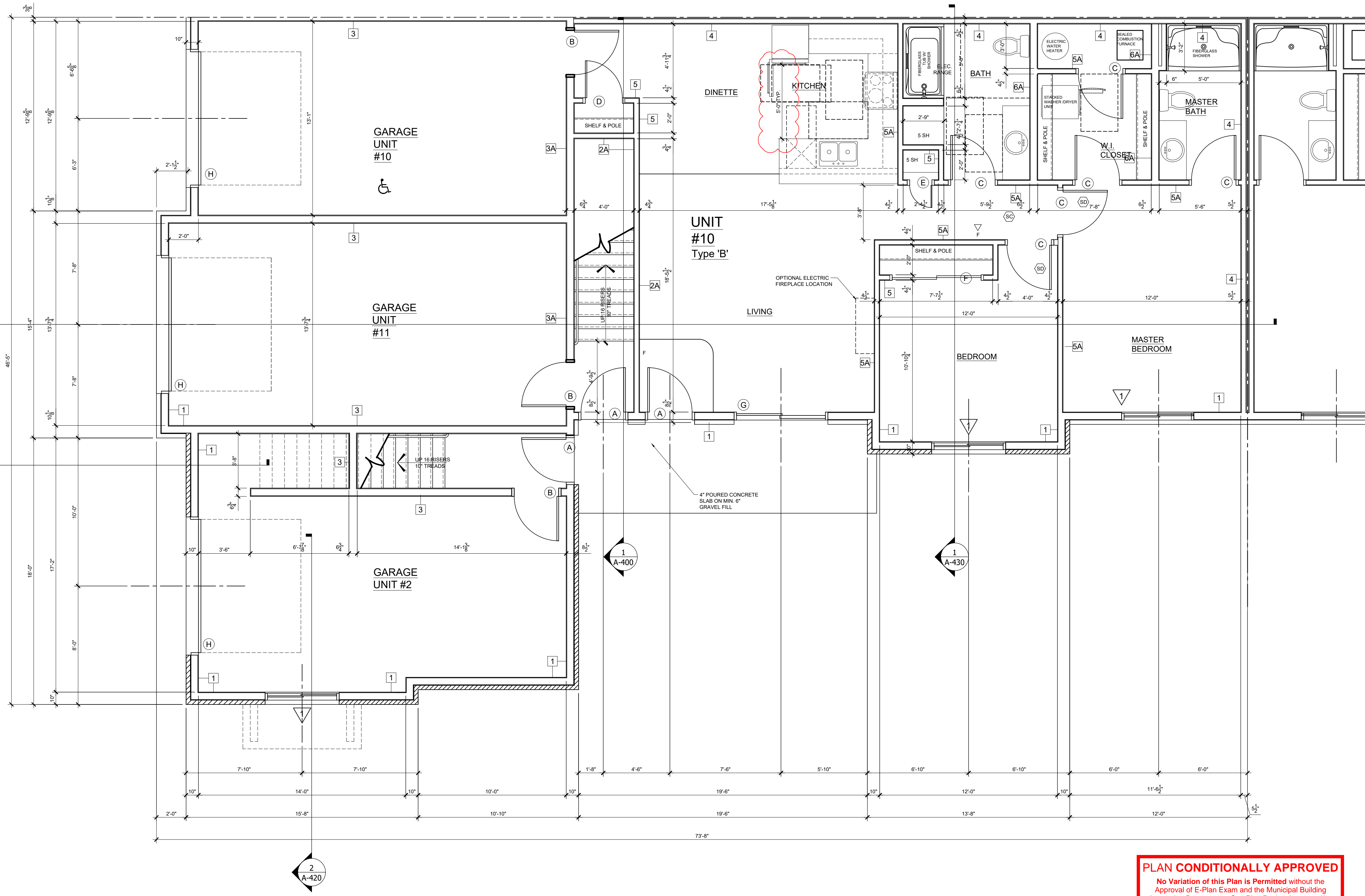
- WINDOW AND PATIO DOOR SIZES ARE BASED ON UNIT MANUFACTURED BY "QUAKER - MANCHESTER SERIES". LOW "E" INSULATING GLASS. PROVIDE GRILLE PATTERN AS SHOWN. ALL WINDOWS AND DOORS COMPLY WITH EGRESS REQUIREMENTS AND ACCESSIBILITY CLEAR OPENING SIZE.
- COLOR SHALL BE SELECTED FROM MANUFACTURERS STANDARD INDEX AND SHALL BE VERIFIED WITH OWNER.
- WINDOW DATA BASED ON QUAKER WINDOWS. ANY SUBSTITUTIONS SHALL BE VERIFIED WITH ARCHITECT AND COMPLY WITH IBC CHAPTER 12.
- \* DENOTES CLEAR OPENING FOR (1) SLIDING PORTION OF WINDOW UNIT IN OPENED POSITION.
- \*\* DENOTES CLEAR OPENING FOR BOTH SLIDING AND STATIONARY PANEL IN EITHER WINDOW OR DOOR.
- WINDOWS SHALL BE COMPLIANT WITH ONE OF THE PROTECTION METHODS PER IBC 1015.8. IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LESS THAN 36" ABOVE THE FINISH FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE.

**1 HR FIRE RATED ATTIC ACCESS HATCHES:**

- ALL HATCHES IN 1 HR RATED CEILING ASSEMBLIES SHALL BE "BEST ACCESS DOORS" OR EQUAL
- 22" X 36" - 2 LOCKS
- RATED FOR 1 HOUR IN COMBUSTIBLE CONSTRUCTION.
- VERIFY ALL DETAILS WITH OWNER PRIOR TO CONST.
- TESTED PER ASTM E119 AND CAN/ULC S101



**UNIT SEPARATION WALL @ FLOOR / CEILING DETAIL**  
NO SCALE



- FLOOR PLAN NOTES:**
- BUILDING SHALL BE SPRINKLERED PER NFPA101R.
  - SEE A120 FOR WALL TYPES.
  - SEE A120 FOR BATH TUB AT UNIT WALL DETAIL.
  - STAIR HANDRAILS SHALL WITHSTAND 200# LOAD APPLIED IN ANY DIRECTION. BRACKETS SHALL BE 30" O.C. PROVIDE BLOCKING AS REQUIRED.
  - LOCATE ATTIC ACCESS ON SECOND FLOOR AS INDICATED. ATTIC ACCESS HATCHES SHALL BE 1 HR FIRE RATED UL LABELED ASSEMBLIES.
  - ALL SECOND FLOOR WATER HEATERS AND WASHERS SHALL BE PROVIDED WITH AN OVERFLOW PAN WITH DRAIN TO PREVENT DISCHARGE WATER FROM ENTERING UNIT.
  - PLUMBER TO INSTALL 3/4" FIRE-STOP GYP. BD. ON BOTTOM OF FLOOR SHEATHING BELOW ANY HOLE CUT OUT AT TUB OR SHOWER BEFORE RUNNING DRAIN LINE THRU FLOOR. FIRECAULK OPENING.
  - ALL LUMBER USED IN THE CONSTRUCTION OF SECOND FLOOR DECKS SHALL BE TREATED DECAY RESISTANT LUMBER. VERIFY RAILINGS AND BALLUSTER MATERIALS WITH OWNER. RAILINGS TO WITHSTAND 200# LOAD APPLIED IN ANY DIRECTION. BALLUSTERS DESIGNED TO PREVENT PASSAGE OF OBJECT 4" IN DIAMETER.
  - SEE DETAIL AT TUB OR SHOWER. ASSURE 1 HOUR RATING AT WALLS AND SECOND FLOOR BY INSTALLING FIRE RATED GYP. BD. AT WALLS OR PLYWOOD SHEATHING PER UL 1550.
  - NO OPENINGS AROUND PIPE, ELECTRIC BOXES, CONDUITS, DUCTS OR OTHER PENETRATING ITEMS THROUGH A FIRE-PROTECTIVE MEMBRANE (EITHER GYP. BD. OR SHEATHING) SHALL BE MORE THAN 1/2". IF MORE THAN 1/2", SEAL ALL OPENINGS WITH A FIRE-STOP PRODUCT OR DEVICE THAT IS TESTED AND LISTED BY AN APPROVED TESTING LAB UNDER ASTM E814. ELECTRICAL BOXES MUST BE CLASSIFIED FOR FIRE RESISTANCE OR METALIC OUTLET BOXES THAT ARE LISTED BY AN APPROVED TESTING LABORATORY. BOXES MUST NOT BE MORE THAN 16 SQ IN. DO NOT INSTALL ON OPPOSITE SIDES OF WALLS. SPACE BOXES 24" MIN. HORIZONTALLY ON OPPOSITE SIDES OF WALLS. TOTAL AGGREGATE OF ALL SUCH OPENINGS SHALL NOT EXCEED 100 SQ IN.

- INSULATION CONTRACTOR SHALL SUPPLY A SIGNED AND DATED CERTIFICATION FOR THE INSULATION INSTALLED IN EACH ELEMENT, LISTING THE TYPES INSULATION INSTALLATIONS IN ROOF/CEILING, THE MANUFACTURER AND THE R-VALUE. FOR BLOWN INSULATION, THE INSTALLER SHALL ALSO PROVIDE THE INITIAL INSTALLED THICKNESS, THE SETTLED THICKNESS, THE COVERAGE AREA, AND THE NUMBER OF BAGS INSTALLED. POST THE FINAL CERTIFICATE ON SITE.
- FIRE ALARM SYSTEM NOTES:**
- VERIFY ALL LOCAL AND STATE REQUIREMENTS
  - EACH LIVING UNIT SHALL HAVE A FIRE ALARM STATION LOCATED AT THE EXIT OF THE UNIT ON FIRST FLOOR AND AT THE TOP OF THE STAIRS AT SECOND FLOOR UNITS AND A HORN LOCATED IN HALL BY BEDROOMS.
  - ALL SMOKE DETECTORS SHALL BE DIRECTLY AND PERMANENTLY WIRED TO A PROPER UNSWITCHED CIRCUIT AND BE PROVIDED WITH A BACKUP POWER SOURCE.
  - ALL SMOKE DETECTORS SHALL BE LOCATED IN HALL 6' BEDROOM DOOR AND IN EACH BEDROOM.
  - SMOKE DETECTORS SHALL BE LOCATED IN THE UTILITY ROOM AND SHALL BE WIRED TO AN UNSWITCHED CIRCUIT W/ EMERGENCY POWER BACKUP.
- ELECTRICAL NOTES:**
- ELECTRICAL DESIGNER / CONTRACTOR SHALL PROVIDE HIGH EFFICIENCY LAMPS IN A MINIMUM OF 50% OF THE FIXTURES PER IECC 404.1.

**1 ENLARGED FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**PLAN CONDITIONALLY APPROVED**  
No Variation of this Plan is Permitted without the Approval of E-Plan Exam and the Municipal Building Inspection Department. See Plan Review Letter and/or Permit for additional conditions that must be addressed during construction prior to inspection.  
Review Type: Building & Structure Review Only.  
Approved by: *John J. Cunningham* Date: 09/15/2022

DOOR SCHEDULE			
MARK	TYPE	DESCRIPTION	HARDWARE
(A)	1	3'-0" x 6'-8" INSULATED 6 PANEL DOOR, 20 MINUTE LABEL.	ADA APPROVED HARDWARE, 3 SELF CLOSING HINGES, DEADBOLT, LEVER HANDLE, VIEWER, UNIT NUMBER.
(B)	4	3'-0" x 6'-8" INSULATED 6 PANEL DOOR, 20 MINUTE LABEL.	ADA APPROVED HARDWARE, 3 SELF CLOSING HINGES, DEADBOLT, LEVER HANDLE.
(C)	2	3'-0" x 6'-8" LEGACY HOLLOW CORE W/ WOOD FRAME	VERIFY W/ OWNER.
(D)	3	2'-6" x 6'-8" LEGACY HOLLOW CORE W/ WOOD FRAME	VERIFY W/ OWNER.
(E)	2	1'-6" x 6'-8" LEGACY HOLLOW CORE W/ WOOD FRAME	VERIFY W/ OWNER.
(F)	3	6'-0" x 6'-8" 2 PANEL SLIDE BY HOLLOW CORE W/ WOOD FRAME.	VERIFY W/ OWNER.
(G)	5	6'-5 1/2" x 6'-8" "QUAKER" PATIO DOOR W/ LOW "E" TEMPERED GLAZING, 2" GRILLS, ADA COMPLIANT, VERIFY WIDTH.	VERIFY W/ OWNER.
(H)	6	9'-0" x 7'-0" RAISED PANEL INSULATED OVERHEAD DOOR.	1" H.P. OPENER W/ 3 FUNCTION WALL CONTROL, ONE CAR REMOTE, AND KEYLESS ENTRY PAD.

ROOM SCHEDULE				
NAME	WALL	BASE	FLOOR	CEILING
FOYER	TEXTURED PAINT ON DRYWALL	WOOD	WOOD LAMINATE	TEXTURED PAINT ON DRYWALL
LIVING	TEXTURED PAINT ON DRYWALL	WOOD	CARPET	TEXTURED PAINT ON DRYWALL
KITCHEN	TEXTURED PAINT ON DRYWALL	WOOD	VINYL	TEXTURED PAINT ON DRYWALL
DINETTE	TEXTURED PAINT ON DRYWALL	WOOD	CARPET	TEXTURED PAINT ON DRYWALL
HALL	TEXTURED PAINT ON DRYWALL	WOOD	CARPET	TEXTURED PAINT ON DRYWALL
BEDROOM	TEXTURED PAINT ON DRYWALL	WOOD	CARPET	TEXTURED PAINT ON DRYWALL
BATH	TEXTURED PAINT ON DRYWALL	WOOD	VINYL	TEXTURED PAINT ON DRYWALL
MASTER BEDROOM	TEXTURED PAINT ON DRYWALL	WOOD	CARPET	TEXTURED PAINT ON DRYWALL
MASTER BATH	TEXTURED PAINT ON DRYWALL	WOOD	VINYL	TEXTURED PAINT ON DRYWALL
LAUNDRY	TEXTURED PAINT ON DRYWALL	WOOD	VINYL	TEXTURED PAINT ON DRYWALL
CLOSET	TEXTURED PAINT ON DRYWALL	WOOD	CARPET	TEXTURED PAINT ON DRYWALL
HVAC	TEXTURED PAINT ON DRYWALL	NONE	NONE	TEXTURED PAINT ON DRYWALL

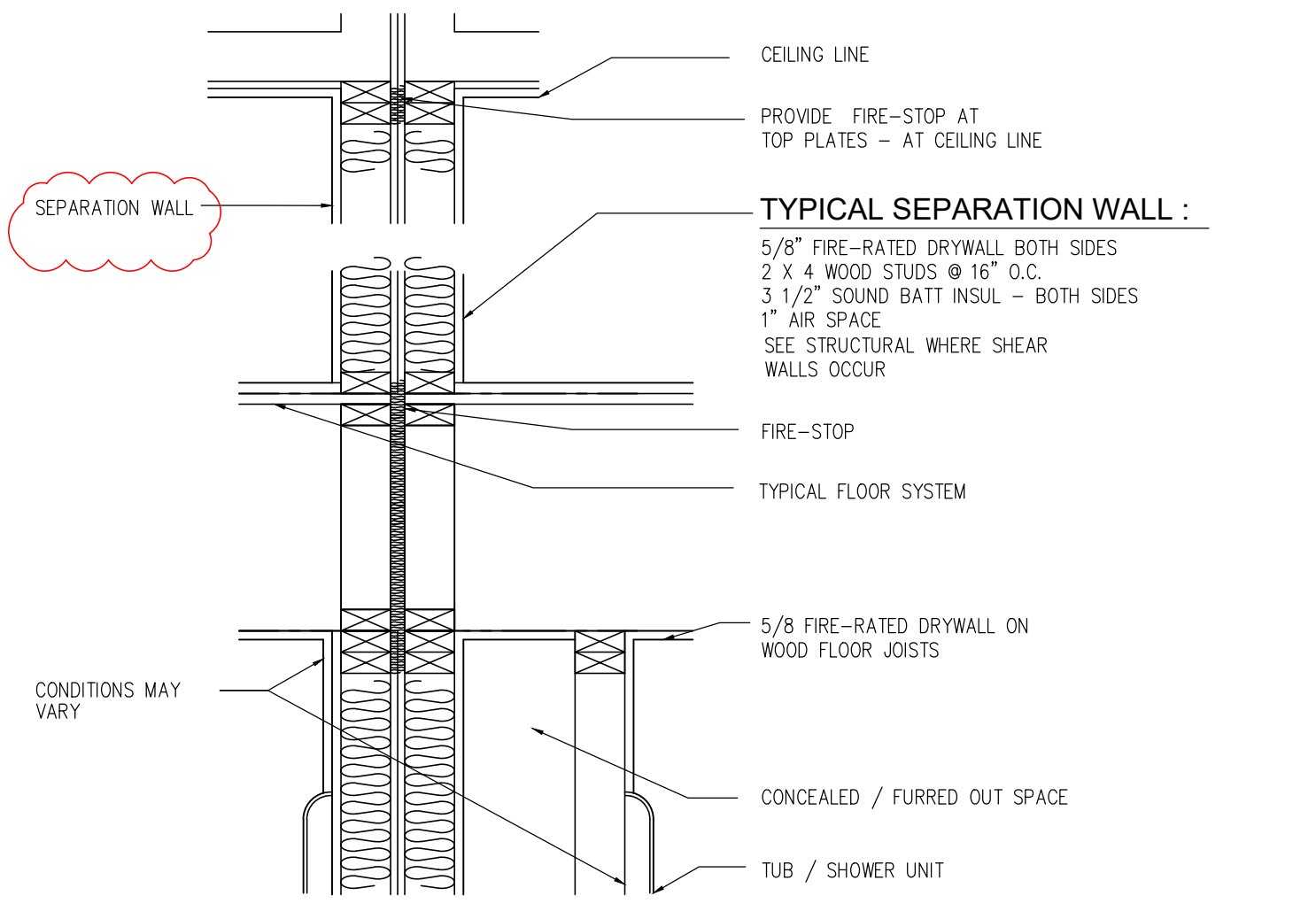
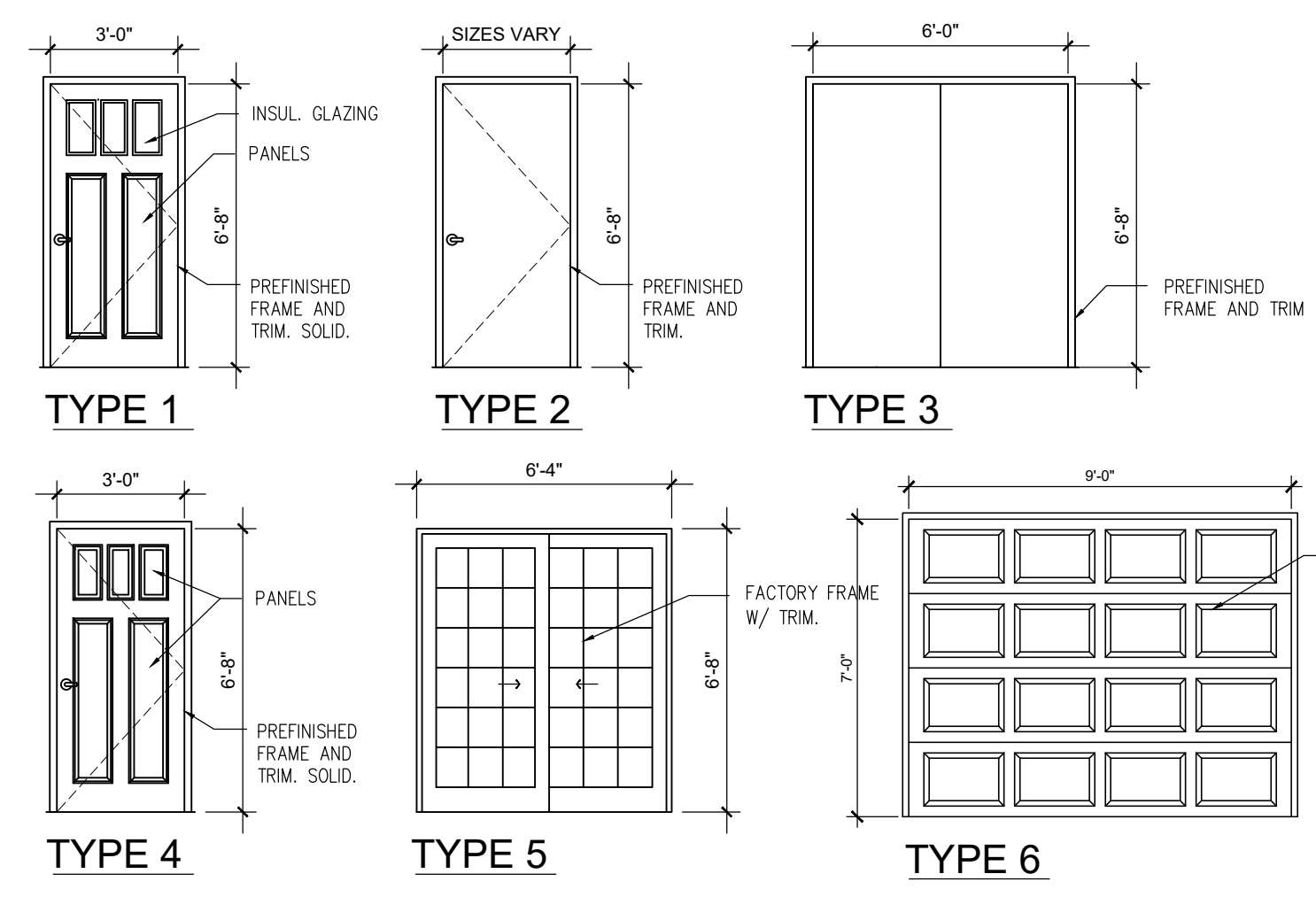
WINDOW SCHEDULE						
MARK	UNIT (S)	ROUGH OPENING	GLAZING	REMARKS	U-VALUE	REMARKS
(V)	SLIDER 5038	60 3/4" x 44 1/2" VERIFY	LOW "E" INSUL. GL.	UPPER SASH GRILLES & SCREENS REQUIRED	0.25	0.21

**WINDOW AND SLIDING DOOR NOTES:**

- WINDOW AND PATIO DOOR SIZES ARE BASED ON UNIT MANUFACTURED BY "QUAKER - MANCHESTER SERIES", LOW "E" INSULATING GLASS. PROVIDE GRILLE PATTERN AS SHOWN. ALL WINDOWS AND DOORS COMPLY WITH EGRESS REQUIREMENTS AND ACCESSIBILITY CLEAR OPENING SIZE.
- COLOR SHALL BE SELECTED FROM MANUFACTURERS STANDARD INDEX AND SHALL BE VERIFIED WITH OWNER.
- WINDOW DATA BASED ON QUAKER WINDOWS. ANY SUBSTITUTIONS SHALL BE VERIFIED WITH ARCHITECT AND COMPLY WITH IBC CHAPTER 12.
- \* DENOTES CLEAR OPENING FOR (1) SLIDING PORTION OF WINDOW UNIT IN OPENED POSITION.
- \*\* DENOTES CLEAR OPENING FOR BOTH SLIDING AND STATIONARY PANEL IN EITHER WINDOW OR DOOR.
- WINDOWS SHALL BE COMPLIANT WITH ONE OF THE PROTECTION METHODS PER IBC 1015.8. IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LESS THAN 36" ABOVE THE FINISH FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE.

**1 HR FIRE RATED ATTIC ACCESS HATCHES:**

- ALL HATCHES IN 1 HR RATED CEILING ASSEMBLIES SHALL BE "BEST ACCESS DOORS" OR EQUAL.
- 22" X 36" - 2 LOCKS
- RATED FOR 1 HOUR IN COMBUSTIBLE CONSTRUCTION.
- VERIFY ALL DETAILS WITH OWNER PRIOR TO CONST.
- TESTED PER ASTM E119 AND CAN/ULC S101



**UNIT SEPARATION WALL @ FLOOR / CEILING DETAIL**  
NO SCALE

**FLOOR PLAN NOTES:**

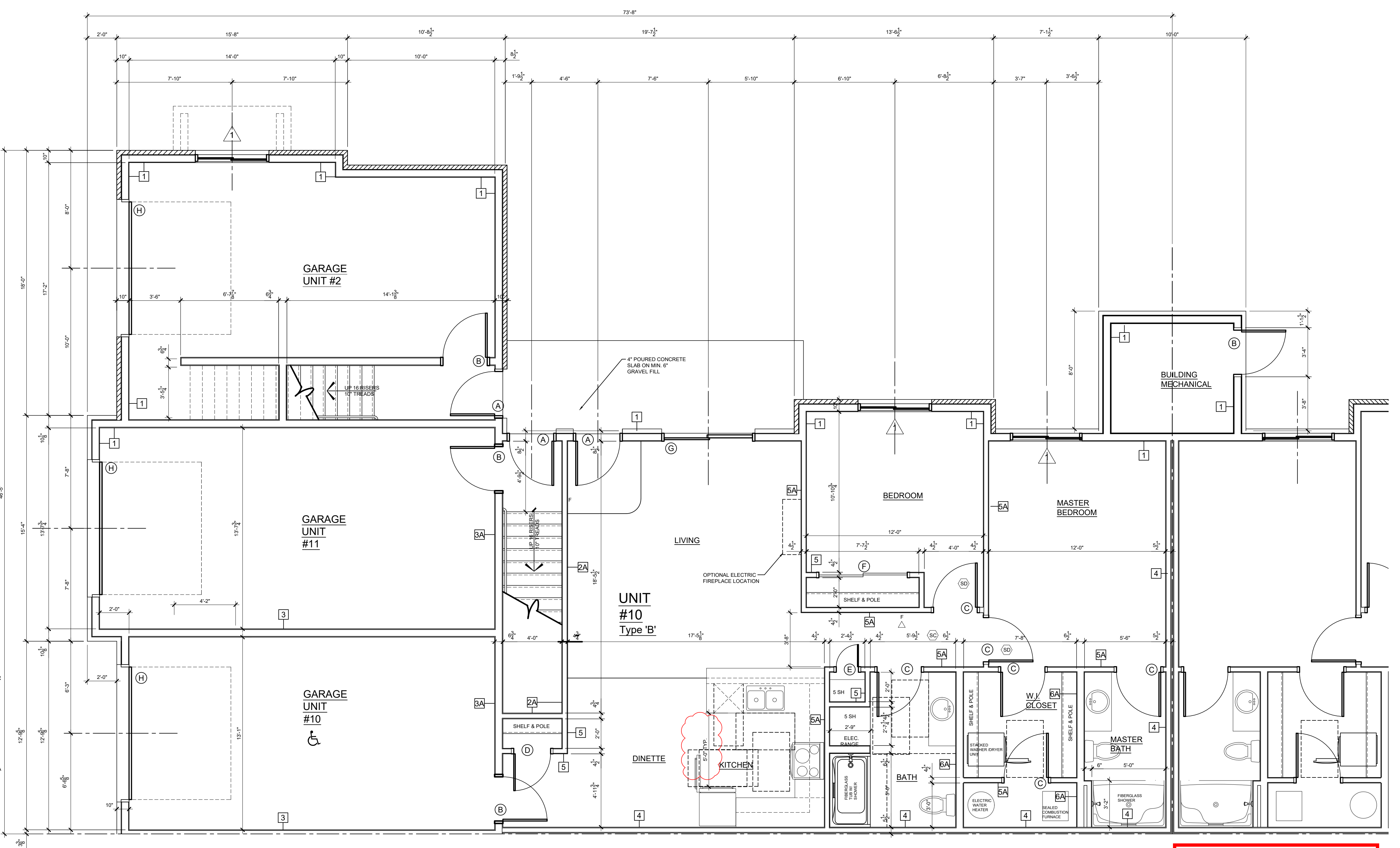
- BUILDING SHALL BE SPRINKLERED PER NFPA13R.
- SEE A120 FOR WALL TYPES.
- SEE A120 FOR BATH TUB AT UNIT WALL DETAIL.
- STAIR HANDRAILS: ALL HANDRAILS SHALL WITHSTAND 200# LOAD APPLIED IN ANY DIRECTION. BRACKETS SHALL BE 32" O.C. PROVIDE BLOCKING AS REQUIRED.
- LOCATE ATTIC ACCESS ON SECOND FLOOR AS INDICATED. ATTIC ACCESS HATCHES SHALL BE 1 HR FIRE RATED UL LABELED ASSEMBLIES.
- ALL SECOND FLOOR WATER HEATERS AND WASHERS SHALL BE PROVIDED WITH AN OVERFLOW PAN WITH DRAIN TO PREVENT DISCHARGE WATER FROM ENTERING UNIT.
- PLUMBER TO INSTALL 3/4" FIRECODE GYP. BD. ON BOTTOM OF FLOOR SHEATHING BELOW ANY HOLE CUT OUT AT TUB OR SHOWER BEFORE RUNNING DRAIN LINE THRU FLOOR. FIRECALLK OPENING.
- ALL LUMBER USED IN THE CONSTRUCTION OF SECOND FLOOR DECKS SHALL BE TREATED DECAY RESISTANT LUMBER. VERIFY RAILINGS AND BALLUSTER MATERIALS WITH OWNER. RAILINGS TO WITHSTAND 200# LOAD APPLIED IN ANY DIRECTION. BALLUSTERS DESIGNED TO PREVENT PASSAGE OF OBJECT 4" IN DIAMETER.
- SEE DETAIL AT TUB OR SHOWER. ASSURE 1 HOUR RATING AT WALLS AND SECOND FLOOR BY INSTALLING FIRE RATED GYP. BD. AT WALLS OR PLYWOOD SHEATHING PER UL L502.
- NO OPENINGS AROUND PIPE, ELECTRIC BOXES, CONDUITS, DUCTS OR OTHER PENETRATING ITEMS THROUGH A FIRE-PROTECTIVE MEMBRANE (EITHER GYP. BD. OR SHEATHING) SHALL BE MORE THAN 1/2". IF MORE THAN 1/2", SEAL ALL OPENINGS WITH A FIRE-STOP PRODUCT OR DEVICE THAT IS TESTED AND LISTED BY AN APPROVED TESTING LAB UNDER ASTM E814. ELECTRICAL BOXES MUST BE CLASSIFIED FOR FIRE RESISTANCE OR "METALIC OUTLET BOXES THAT ARE LISTED BY AN APPROVED TESTING LABORATORY. BOXES MUST NOT BE MORE THAN 16 SQ. IN. DO NOT INSTALL ON OPPOSITE SIDES OF WALLS. SPACES BOXES 24" MIN. HORIZONTALLY ON OPPOSITE SIDES OF WALLS. TOTAL AGGREGATE OF ALL SUCH OPENINGS SHALL NOT EXCEED 100 SQ. IN.
- INSULATION CONTRACTOR SHALL SUPPLY A SIGNED AND DATED CERTIFICATION FOR THE INSULATION INSTALLED IN EACH ELEMENT, LISTING THE TYPES INSULATION INSTALLATIONS IN ROOF/Ceilings, THE MANUFACTURERS AND THE R-VALUE. FOR BLOWN INSULATION, THE INSTALLER SHALL ALSO PROVIDE THE INITIAL, INSTALLED THICKNESS, THE SETTLED THICKNESS, THE COVERAGE AREA, AND THE NUMBER OF BAGS INSTALLED. POST THE FINAL CERTIFICATE ON SITE.

**FIRE ALARM SYSTEM NOTES:**

- VERIFY ALL LOCAL AND STATE REQUIREMENTS.
- EACH LIVING UNIT SHALL HAVE A FIRE ALARM STATION LOCATED AT THE EXIT OF THE UNIT ON FIRST FLOOR AND AT THE TOP OF THE STAIRS AT SECOND FLOOR UNITS AND A HORN LOCATED IN HALL BY BEDROOMS.
- ALL SMOKE DETECTORS SHALL BE DIRECTLY AND PERMANENTLY WIRED TO A PROPER UNSWITCHED CIRCUIT AND BE PROVIDED WITH A BACKUP POWER SOURCE.
- ALL SMOKE DETECTORS SHALL BE LOCATED IN HALL 6' BEDROOM DOOR AND IN EACH BEDROOM.
- SMOKE DETECTORS SHALL BE LOCATED IN THE UTILITY ROOM AND SHALL BE WIRED TO AN UNSWITCHED CIRCUIT W/ EMERGENCY POWER BACKUP.

**ELECTRICAL NOTES:**

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**1 ENLARGED FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**PLAN CONDITIONALLY APPROVED**  
 No Variation of this Plan is Permitted without the Approval of E-Plan Exam and the Municipal Building Inspection Department. See Plan Review Letter and/or Permit for additional conditions that must be addressed during construction prior to inspection.  
 Review Type: Building & Structure Review Only.  
 Approved by: *John J. Cunningham* Date: 09/15/2022

**LLOYD CARPENTER ARCHITECT**  
ARCHITECTURAL SERVICES  
 2663 Maple Hills Drive  
 Green Bay, Wisconsin 54313  
 920.655.3829  
 carp.arch@gmail.com

REVISION/ISSUE		
No.	DATE	DESCRIPTION

PROPOSED 12 UNIT APARTMENT BUILDING FOR:  
**NICOLET LUMBER CO.**  
 EAGLE RIVER, WISCONSIN

PROJECT: \_\_\_\_\_  
 DESIGNED BY: LCA  
 APPROVED BY: LCA  
 DATE: 9-8-22  
 SCALE: AS SHOWN  
 JOB NUMBER: \_\_\_\_\_

TITLE  
**ENLARGED FIRST FLOOR PLAN**

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.  
 CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

**A210**

DOOR SCHEDULE			
MARK	TYPE	DESCRIPTION	HARDWARE
(A)	1	3'-0" x 6'-8" INSULATED 6 PANEL DOOR. 20 MINUTE LABEL.	ADA APPROVED HARDWARE. 3 SELF CLOSING HINGES, DEADBOLT, LEVER HANDLE, VIEWER, UNIT NUMBER.
(B)	4	3'-0" x 6'-8" INSULATED 6 PANEL DOOR. 20 MINUTE LABEL.	ADA APPROVED HARDWARE. 3 SELF CLOSING HINGES, DEADBOLT, LEVER HANDLE.
(C)	2	3'-0" x 6'-8" LEGACY HOLLOW CORE W/ WOOD FRAME	VERIFY W/ OWNER.
(D)	3	2'-6" x 6'-8" LEGACY HOLLOW CORE W/ WOOD FRAME	VERIFY W/ OWNER.
(E)	2	1'-6" x 6'-8" LEGACY HOLLOW CORE W/ WOOD FRAME	VERIFY W/ OWNER.
(F)	3	6'-0" x 6'-8" 2 PANEL SLIDE BY HOLLOW CORE W/ WOOD FRAME.	VERIFY W/ OWNER.
(G)	5	6'-5 1/2" x 6'-8" "QUAKER" PATIO DOOR W/ LOW "E" TEMPERED GLAZING. 7/8" GRILLES. ADA COMPLIANT. VERIFY W.D.H.	VERIFY W/ OWNER.
(H)	6	9'-0" x 7'-0" RAISED PANEL INSULATED OVERHEAD DOOR.	1/2" H.P. OPENER W/ 3 FUNCTION WALL CONTROL, ONE CAR REMOTE, AND KEYLESS ENTRY PAD.

ROOM SCHEDULE				
NAME	WALL	BASE	FLOOR	CEILING
FOYER	TEXTURED PAINT ON DRYWALL	WOOD	WOOD LAMINATE	TEXTURED PAINT ON DRYWALL
LIVING	TEXTURED PAINT ON DRYWALL	WOOD	CARPET	TEXTURED PAINT ON DRYWALL
KITCHEN	TEXTURED PAINT ON DRYWALL	WOOD	VINYL	TEXTURED PAINT ON DRYWALL
DINETTE	TEXTURED PAINT ON DRYWALL	WOOD	CARPET	TEXTURED PAINT ON DRYWALL
HALL	TEXTURED PAINT ON DRYWALL	WOOD	CARPET	TEXTURED PAINT ON DRYWALL
BEDROOM	TEXTURED PAINT ON DRYWALL	WOOD	CARPET	TEXTURED PAINT ON DRYWALL
BATH	TEXTURED PAINT ON DRYWALL	WOOD	VINYL	TEXTURED PAINT ON DRYWALL
MASTER BEDROOM	TEXTURED PAINT ON DRYWALL	WOOD	CARPET	TEXTURED PAINT ON DRYWALL
MASTER BATH	TEXTURED PAINT ON DRYWALL	WOOD	VINYL	TEXTURED PAINT ON DRYWALL
LAUNDRY	TEXTURED PAINT ON DRYWALL	WOOD	VINYL	TEXTURED PAINT ON DRYWALL
CLOSET	TEXTURED PAINT ON DRYWALL	WOOD	CARPET	TEXTURED PAINT ON DRYWALL
HVAC	TEXTURED PAINT ON DRYWALL	NONE	NONE	TEXTURED PAINT ON DRYWALL

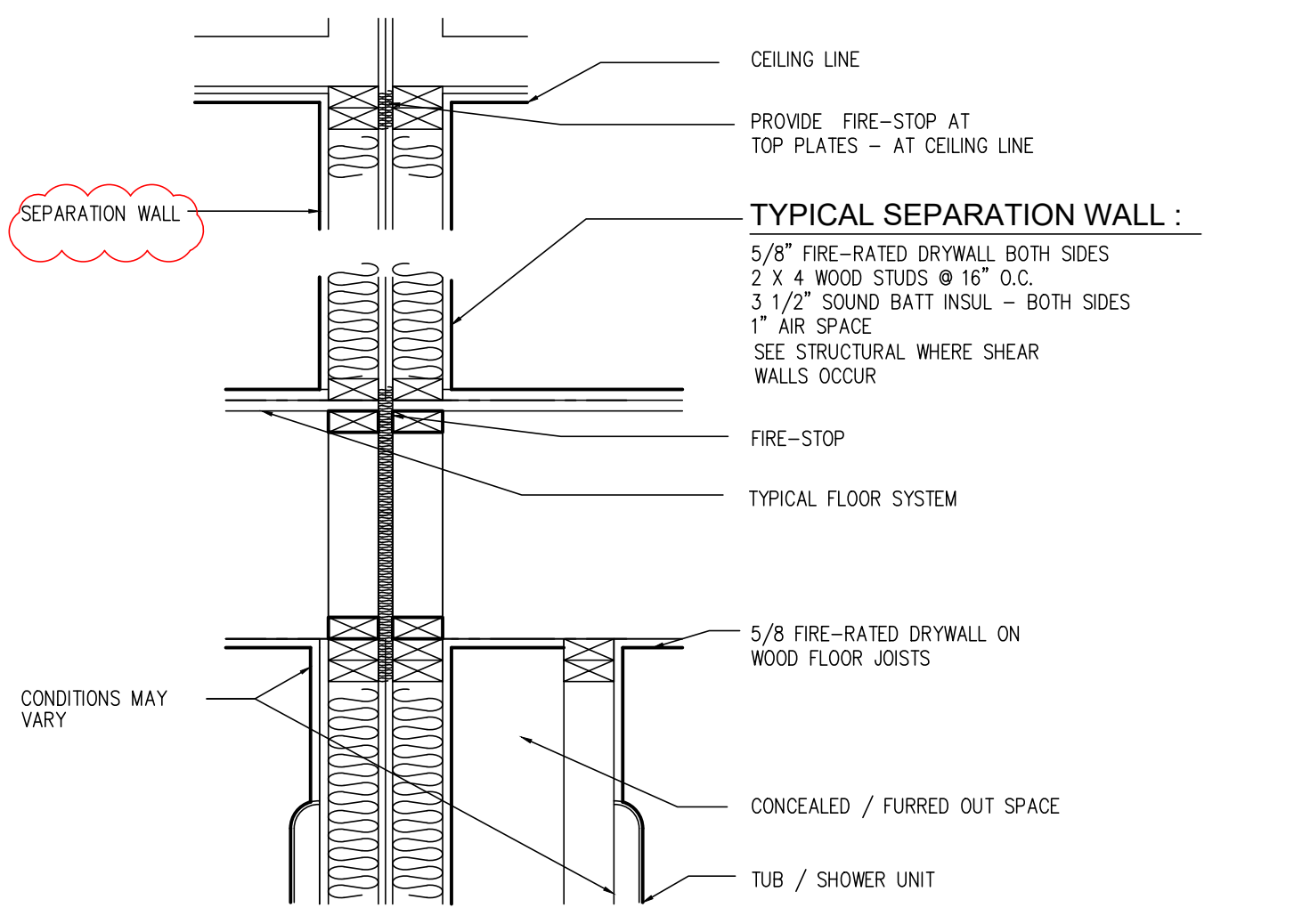
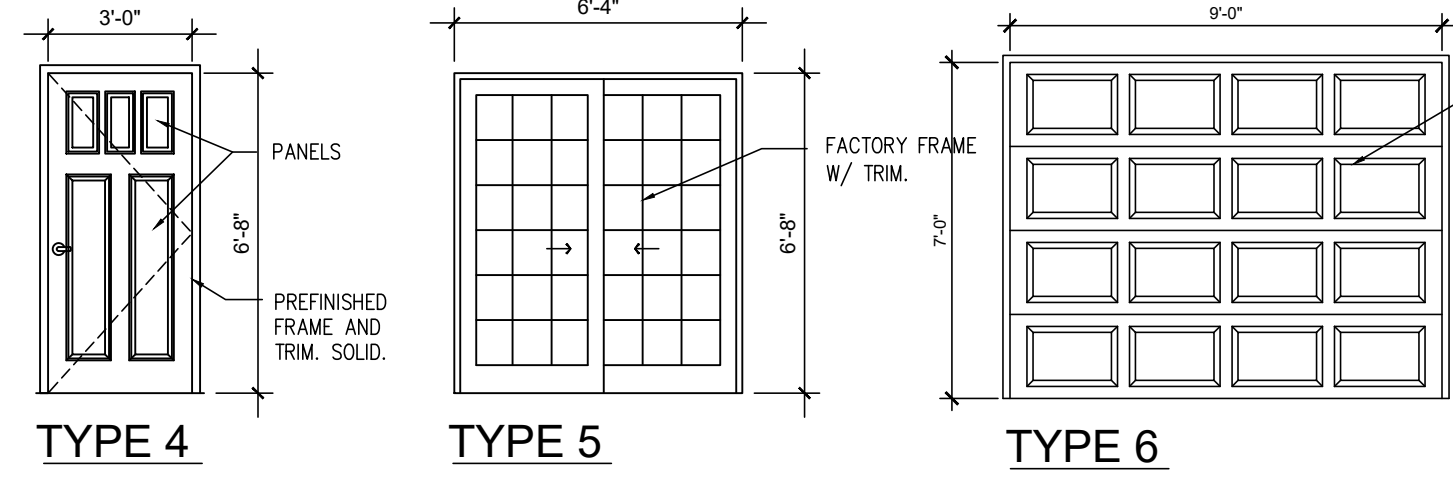
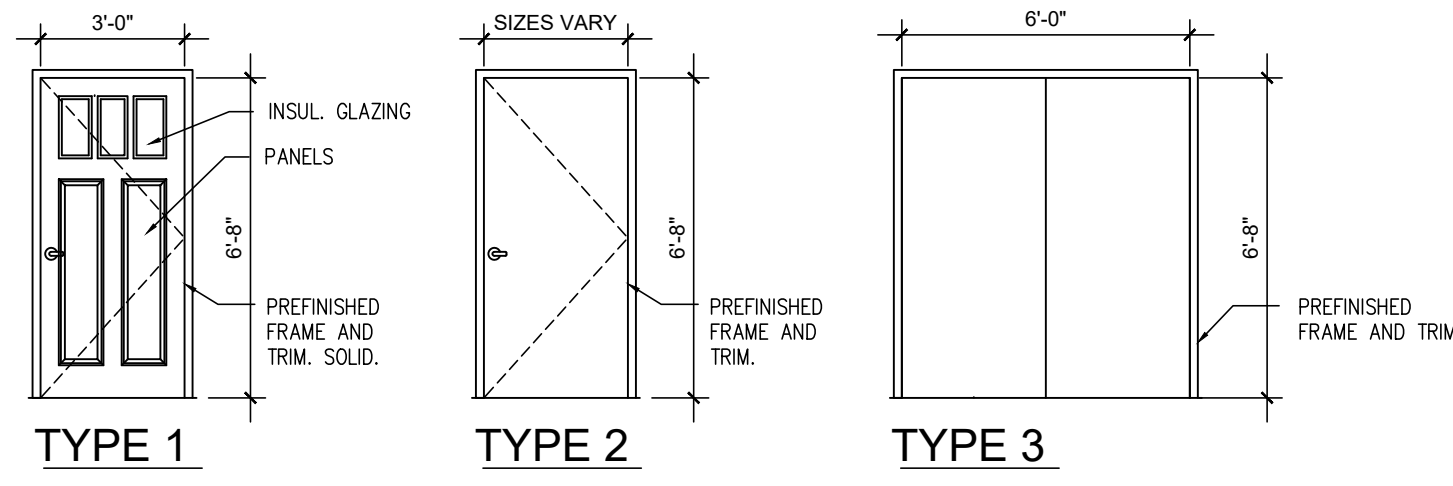
WINDOW SCHEDULE						
MARK	UNIT (S)	ROUGH OPENING	GLAZING	REMARKS	U-VALUE	REMARKS
1	SLIDER 5038	60 3/4" x 44 1/2" VERIFY	LOW "E" INSUL. GL.	UPPER SASH GRILLES & SCREENS REQUIRED	0.25	0.21

**WINDOW AND SLIDING DOOR NOTES:**

- WINDOW AND PATIO DOOR SIZES ARE BASED ON UNIT MANUFACTURED BY "QUAKER - MANCHESTER SERIES". LOW "E" INSULATING GLASS. PROVIDE GRILLE PATTERN AS SHOWN. ALL WINDOWS AND DOORS COMPLY WITH EGRESS REQUIREMENTS AND ACCESSIBILITY CLEAR OPENING SIZE.
- COLOR SHALL BE SELECTED FROM MANUFACTURERS STANDARD INDEX AND SHALL BE VERIFIED WITH OWNER.
- WINDOW DATA BASED ON QUAKER WINDOWS. ANY SUBSTITUTIONS SHALL BE VERIFIED WITH ARCHITECT AND COMPLY WITH IBC CHAPTER 12.
- \* DENOTES CLEAR OPENING FOR (1) SLIDING PORTION OF WINDOW UNIT IN OPENED POSITION.
- \*\* DENOTES CLEAR OPENING FOR BOTH SLIDING AND STATIONARY PANEL IN EITHER WINDOW OR DOOR.
- WINDOWS SHALL BE COMPLIANT WITH ONE OF THE PROTECTION METHODS PER IBC 1015.8. IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LESS THAN 36" ABOVE THE FINISH FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE.

**1 HR FIRE RATED ATTIC ACCESS HATCHES:**

- ALL HATCHES IN 1 HR RATED CEILING ASSEMBLIES SHALL BE "BEST ACCESS DOORS" OR EQUAL.
- 22" X 36" - 2 LOCKS.
- RATED FOR 1 HOUR IN COMBUSTIBLE CONSTRUCTION.
- VERIFY ALL DETAILS WITH OWNER PRIOR TO CONST.
- TESTED PER ASTM E119 AND CAN/ULC S101.



**UNIT SEPARATION WALL @ FLOOR / CEILING DETAIL**  
NO SCALE

**FLOOR PLAN NOTES:**

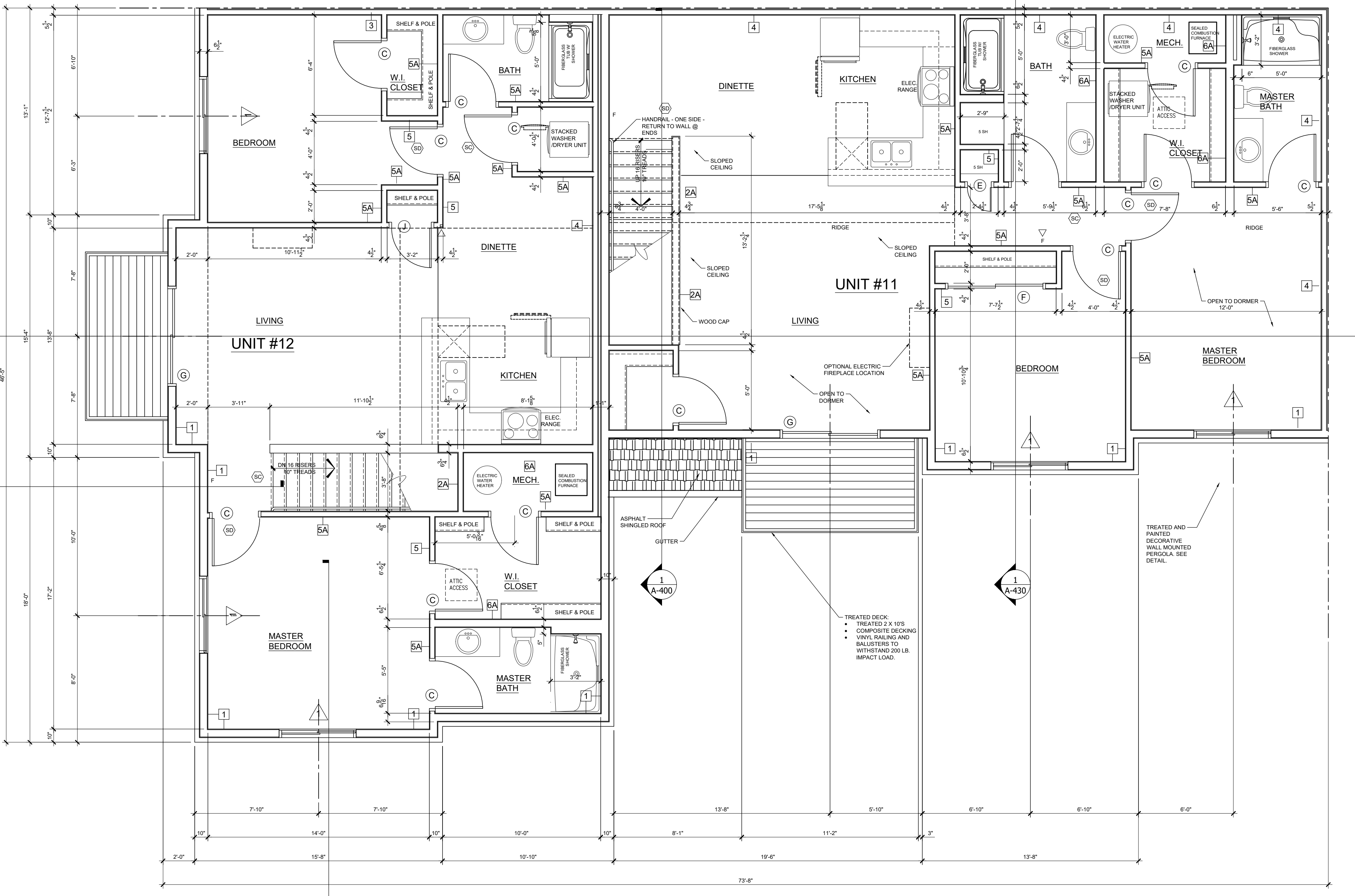
- BUILDING SHALL BE SPRINKLERED PER NFPA13R.
- SEE A120 FOR WALL TYPES.
- SEE A120 FOR BATH TUB AT UNIT WALL DETAIL.
- STAIR HANDRAILS: ALL HANDRAILS SHALL WITHSTAND 200# LOAD APPLIED IN ANY DIRECTION. BRACKETS SHALL BE 3/4" O.C. PROVIDE BLOCKING AS REQUIRED.
- LOCATE ATTIC ACCESS ON SECOND FLOOR AS INDICATED. ATTIC ACCESS HATCHES SHALL BE 1 HR FIRE RATED UL LABELED ASSEMBLIES.
- ALL SECOND FLOOR WATER HEATING AND WASHING SHALL BE PROVIDED WITH AN OVERFLOW PAN WITH DRAIN TO PREVENT DISCHARGE WATER FROM ENTERING UNIT.
- PLUMBER TO INSTALL 1/2" FIRECODE GYP. BD. ON BOTTOM OF FLOOR SHEATHING BELOW ANY HOLE CUT OUT AT TUB OR SHOWER BEFORE RUNNING DRAIN LINE THRU FLOOR. FIRCAULK OPENING.
- ALL LUMBER USED IN THE CONSTRUCTION OF SECOND FLOOR DECKS SHALL BE TREATED DECAY RESISTANT LUMBER. VERIFY RAILINGS AND BALLUSTERS MATERIALS WITH OWNER. RAILINGS TO WITHSTAND 200# LOAD APPLIED IN ANY DIRECTION. BALLUSTERS DESIGNED TO PREVENT PASSAGE OF OBJECT 4" IN DIAMETER.
- SEE DETAIL AT TUB OR SHOWER. ASSURE 1 HOUR RATING AT WALLS AND SECOND FLOOR BY INSTALLING FIRE RATED GYP. BD. AT WALLS OR PLYWOOD SHEATHING PER UL L550.
- NO OPENINGS AROUND PIPE, ELECTRIC BOXES, CONDUITS, DUCTS OR OTHER PENETRATING ITEMS THROUGH A FIRE-PROTECTIVE MEMBRANE (EITHER GYP. BD. OR SHEATHING) SHALL BE MORE THAN 1/4" IF MORE THAN 1/4" SEAL ALL OPENINGS WITH A FIRE-STOP PRODUCT OR DEVICE THAT IS TESTED AND LISTED BY AN APPROVED TESTING LAB UNDER ASTM E814. ELECTRICAL BOXES MUST BE CLASSIFIED FOR FIRE RESISTANCE OR METALLIC OUTLET BOXES THAT ARE LISTED BY AN APPROVED TESTING LABORATORY. BOXES MUST NOT BE MORE THAN 16 SQ. IN. DO NOT INSTALL ON OPPOSITE SIDES OF WALLS. SPACE BOXES 24" MIN. HORIZONTALLY ON OPPOSITE SIDES OF WALLS. TOTAL AGGREGATE OF ALL SUCH OPENINGS SHALL NOT EXCEED 100 SQ. IN.

**INSULATION CONTRACTOR SHALL SUPPLY A SIGNED AND DATED CERTIFICATION FOR THE INSULATION INSTALLED IN EACH ELEMENT, LISTING THE TYPES INSULATION INSTALLATIONS IN ROOF/CEILING, THE MANUFACTURER AND THE R-VALUE. FOR BLOWN INSULATION, THE INSTALLER SHALL ALSO PROVIDE THE INITIAL INSTALLED THICKNESS, THE SETTLED THICKNESS, THE COVERAGE AREA, AND THE NUMBER OF BAGS INSTALLED. POST THE FINAL CERTIFICATE ON SITE.**

- FIRE ALARM SYSTEM NOTES:**
- VERIFY ALL LOCAL AND STATE REQUIREMENTS.
  - EACH LIVING UNIT SHALL HAVE A FIRE ALARM STATION LOCATED AT THE EXIT OF THE UNIT ON FIRST FLOOR AND AT THE TOP OF THE STAIRS AT SECOND FLOOR UNITS AND A HORN LOCATED IN HALL BY BEDROOMS.
  - ALL SMOKE DETECTORS SHALL BE DIRECTLY AND PERMANENTLY WIRED TO A PROPER UNSWITCHED CIRCUIT AND BE PROVIDED WITH A BACKUP POWER SOURCE.
  - ALL SMOKE DETECTORS SHALL BE LOCATED IN HALL 6" BEDROOM DOOR AND IN EACH BEDROOM.
  - SMOKE DETECTORS SHALL BE LOCATED IN THE UTILITY ROOM AND SHALL BE WIRED TO AN UNSWITCHED CIRCUIT W/ EMERGENCY POWER BACKUP.
- (SA) SMOKE ALARM  
 (FA) FIRE ALARM HORN  
 (F) FIRE ALARM PULL STATION  
 (SC) COMBINATION SMOKE & CARBON MONOXIDE DETECTOR

**ELECTRICAL NOTES:**

- ELECTRICAL DESIGNER / CONTRACTOR SHALL PROVIDE HIGH EFFICIENCY LAMPS IN A MINIMUM OF 50% OF THE FIXTURES PER IECC 404.1.



**1 ENLARGED SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**PLAN CONDITIONALLY APPROVED**  
No Variation of this Plan is Permitted without the Approval of E-Plan Exam and the Municipal Building Inspection Department. See Plan Review Letter and/or Permit for additional conditions that must be addressed during construction prior to inspection.

Revised: Building & Structure Review Only.  
Approved By: *John J. Cunningham* Date: 09/15/2022

LLOYD CARPENTER ARCHITECT

ARCHITECTURAL SERVICES  
2663 Maple Hills Drive  
Green Bay, Wisconsin 54313  
920.655.3829  
carp.arch@gmail.com

REVISION/ISSUE

No.	DATE	DESCRIPTION

PROPOSED 12 UNIT APARTMENT BUILDING FOR:  
**NICOLET LUMBER CO.**  
EAGLE RIVER, WISCONSIN

PROJECT:  
DESIGNED BY: LCA  
APPROVED BY: LCA  
DATE: 9-8-22  
SCALE: AS SHOWN  
JOB NUMBER

TITLE  
**ENLARGED SECOND FLR. PLAN**

A220

### DOOR SCHEDULE

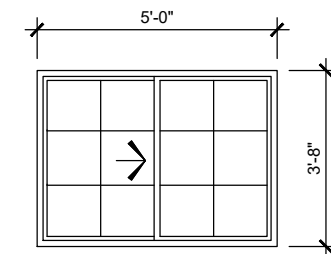
MARK	TYPE	DESCRIPTION	HARDWARE
(A)	1	3'-0" x 6'-8" INSULATED 6 PANEL DOOR. 20 MINUTE LABEL.	ADA APPROVED HARDWARE, 3 SELF CLOSING HINGES, DEADBOLT, LEVER HANDLE, VENER, UNIT NUMBER.
(B)	4	3'-0" x 6'-8" INSULATED 6 PANEL DOOR. 20 MINUTE LABEL.	ADA APPROVED HARDWARE, 3 SELF CLOSING HINGES, DEADBOLT, LEVER HANDLE.
(C)	2	3'-0" x 6'-8" LEGACY HOLLOW CORE W/ WOOD FRAME	VERIFY W/ OWNER.
(D)	3	2'-6" x 6'-8" LEGACY HOLLOW CORE W/ WOOD FRAME	VERIFY W/ OWNER.
(E)	2	1'-6" x 6'-8" LEGACY HOLLOW CORE W/ WOOD FRAME	VERIFY W/ OWNER.
(F)	3	6'-0" x 6'-8" 2 PANEL SLIDE BY HOLLOW CORE W/ WOOD FRAME.	VERIFY W/ OWNER.
(G)	5	6'-5 1/2" x 6'-8" "QUAKER" PATIO DOOR W/ LOW "E" TEMPERED GLAZING. 2" GRILLES. ADA COMPLIANT. VERIFY WIDTH.	VERIFY W/ OWNER.
(H)	6	9'-0" x 7'-0" RAISED PANEL INSULATED OVERHEAD DOOR.	1/2" H.P. OPENER W/ 3 FUNCTION WALL CONTROL, ONE CAR REMOTE, AND KEYLESS ENTRY PAD.

### ROOM SCHEDULE

NAME	WALL	BASE	FLOOR	CEILING
FOYER	TEXTURED PAINT ON DRYWALL	WOOD	WOOD LAMINATE	TEXTURED PAINT ON DRYWALL
LIVING	TEXTURED PAINT ON DRYWALL	WOOD	CARPET	TEXTURED PAINT ON DRYWALL
KITCHEN	TEXTURED PAINT ON DRYWALL	WOOD	VINYL	TEXTURED PAINT ON DRYWALL
DINETTE	TEXTURED PAINT ON DRYWALL	WOOD	CARPET	TEXTURED PAINT ON DRYWALL
HALL	TEXTURED PAINT ON DRYWALL	WOOD	CARPET	TEXTURED PAINT ON DRYWALL
BEDROOM	TEXTURED PAINT ON DRYWALL	WOOD	CARPET	TEXTURED PAINT ON DRYWALL
BATH	TEXTURED PAINT ON DRYWALL	WOOD	VINYL	TEXTURED PAINT ON DRYWALL
MASTER BEDROOM	TEXTURED PAINT ON DRYWALL	WOOD	CARPET	TEXTURED PAINT ON DRYWALL
MASTER BATH	TEXTURED PAINT ON DRYWALL	WOOD	VINYL	TEXTURED PAINT ON DRYWALL
LAUNDRY	TEXTURED PAINT ON DRYWALL	WOOD	VINYL	TEXTURED PAINT ON DRYWALL
CLOSET	TEXTURED PAINT ON DRYWALL	WOOD	CARPET	TEXTURED PAINT ON DRYWALL
HVAC	TEXTURED PAINT ON DRYWALL	NONE	NONE	TEXTURED PAINT ON DRYWALL

### WINDOW SCHEDULE

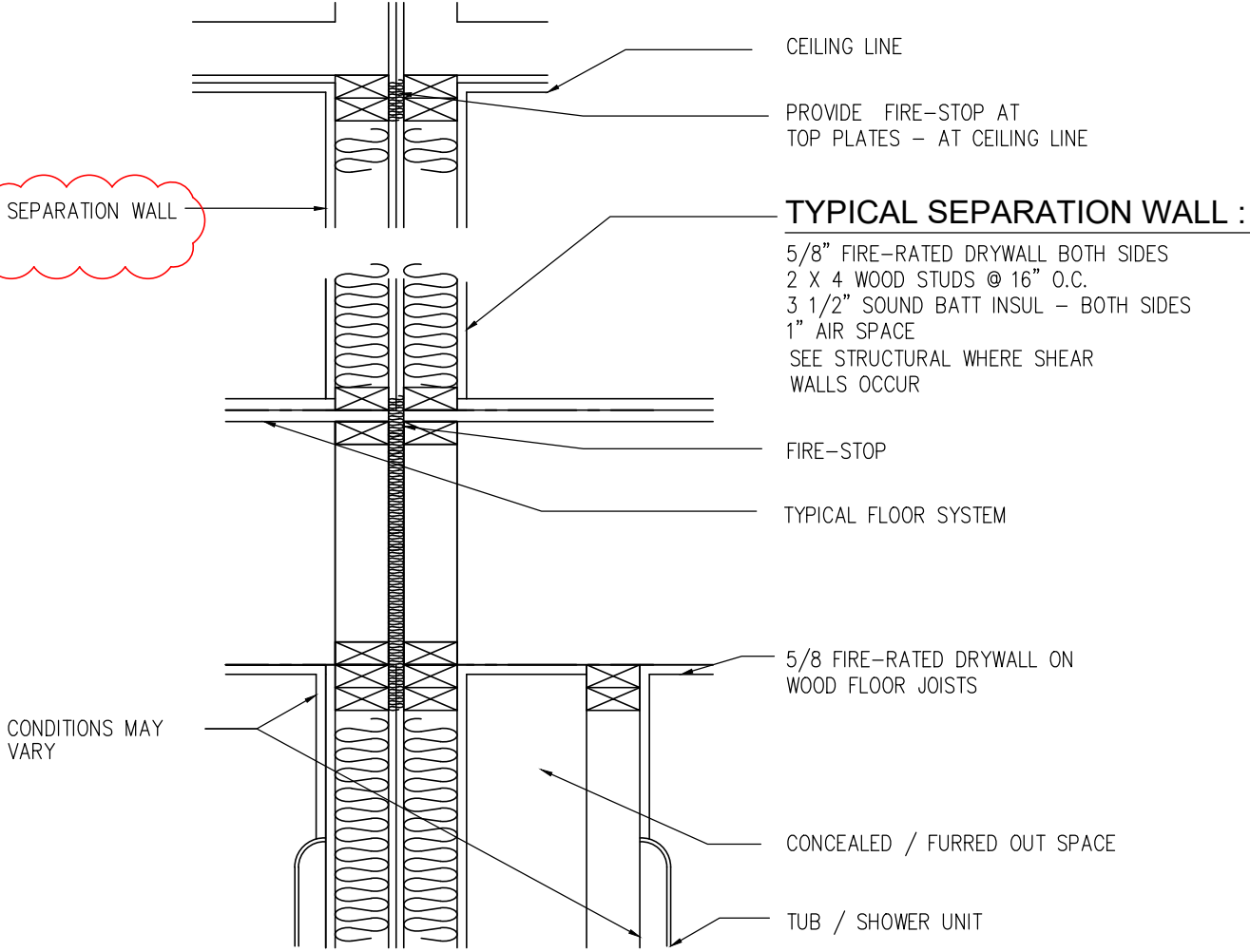
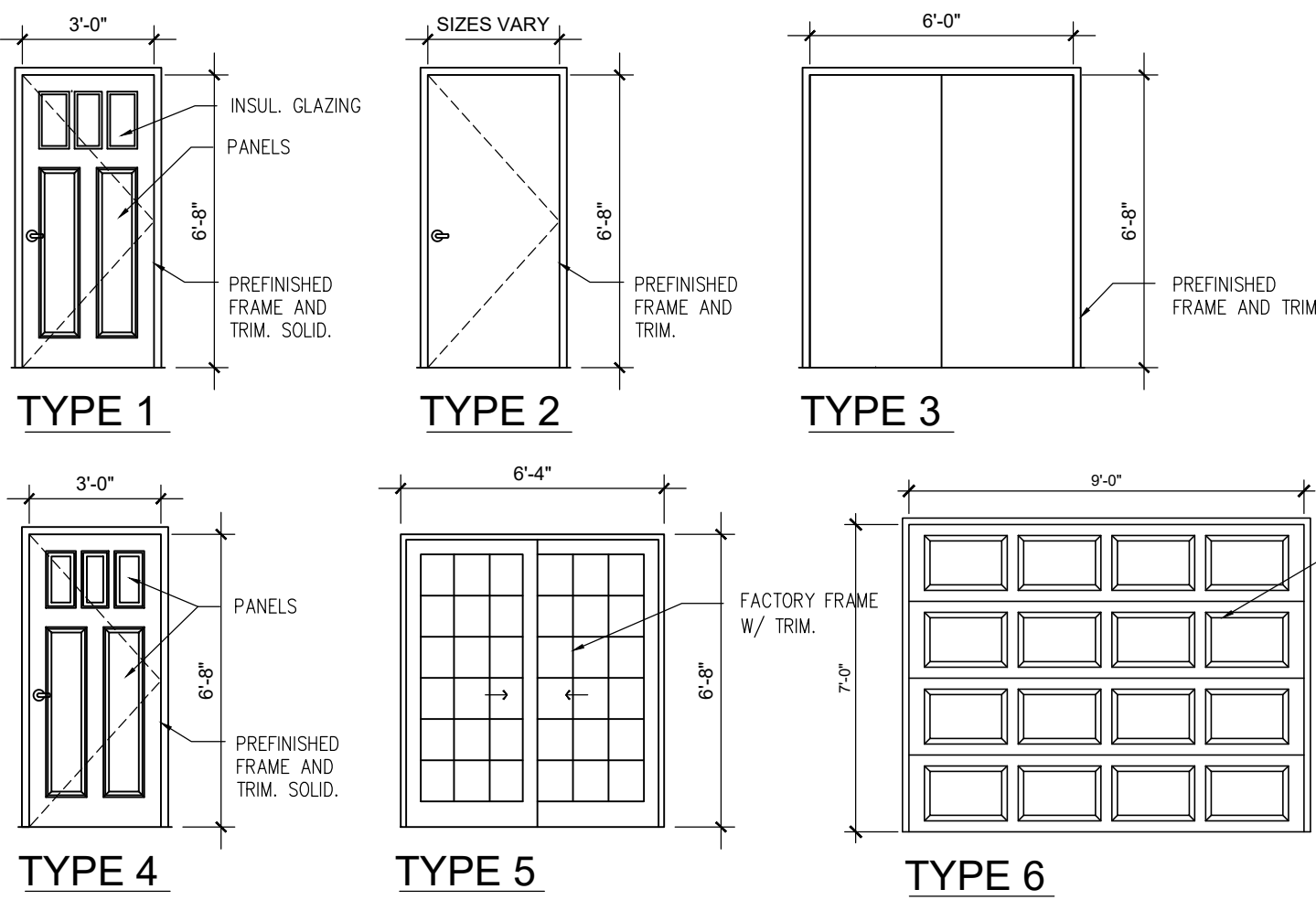
MARK	UNIT (S)	ROUGH OPENING	GLAZING	REMARKS	U-VALUE	REMARKS
(V)	SLIDER 5038	60 3/4" x 44 1/2" VERIFY	LOW "E" INSUL. GL.	UPPER SASH GRILLES & SCREENS REQUIRED	0.25	0.21



TYPE 1

- WINDOW AND SLIDING DOOR NOTES:**
- WINDOW AND PATIO DOOR SIZES ARE BASED ON UNIT MANUFACTURED BY "QUAKER - MANCHESTER SERIES". LOW "E" INSULATING GLASS. PROVIDE GRILLE PATTERN AS SHOWN. ALL WINDOWS AND DOORS COMPLY WITH EGRESS REQUIREMENTS AND ACCESSIBILITY CLEAR OPENING SIZE.
  - COLOR SHALL BE SELECTED FROM MANUFACTURERS STANDARD INDEX AND SHALL BE VERIFIED WITH OWNER.
  - WINDOW DATA BASED ON QUAKER WINDOWS. ANY SUBSTITUTIONS SHALL BE VERIFIED WITH ARCHITECT AND COMPLY WITH IBC CHAPTER 12.
  - \* DENOTES CLEAR OPENING FOR (1) SLIDING PORTION OF WINDOW UNIT IN OPENED POSITION.
  - \*\* DENOTES CLEAR OPENING FOR BOTH SLIDING AND STATIONARY PANEL IN EITHER WINDOW OR DOOR.
  - WINDOWS SHALL BE COMPLIANT WITH ONE OF THE PROTECTION METHODS PER IBC 1015.8. IF THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LESS THAN 36" ABOVE THE FINISH FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE.

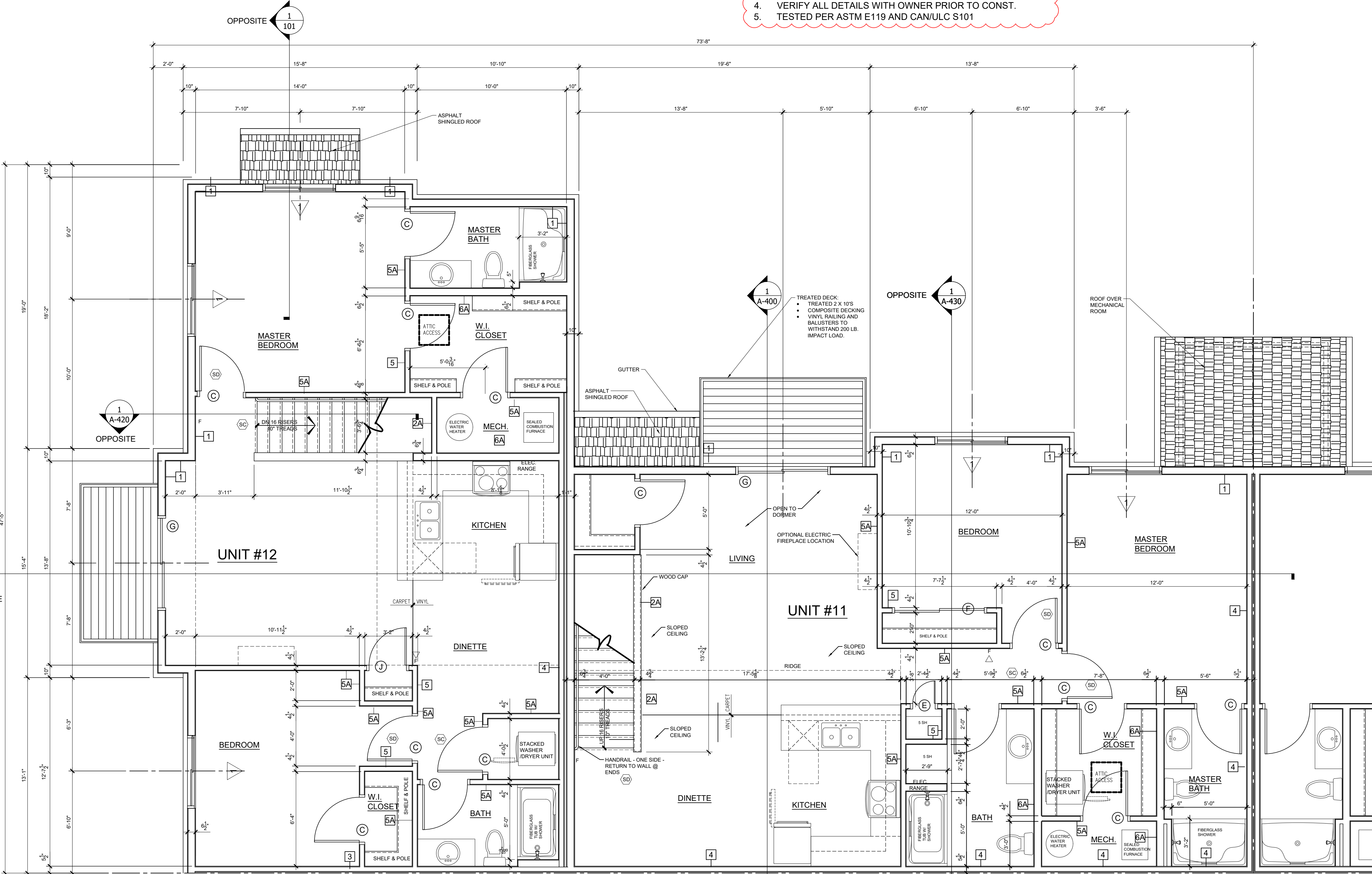
- 1 HR FIRE RATED ATTIC ACCESS HATCHES:**
- ALL HATCHES IN 1 HR RATED CEILING ASSEMBLIES SHALL BE "BEST ACCESS DOORS" OR EQUAL
  - 22" X 36" - 2 LOCKS
  - RATED FOR 1 HOUR IN COMBUSTIBLE CONSTRUCTION.
  - VERIFY ALL DETAILS WITH OWNER PRIOR TO CONST.
  - TESTED PER ASTM E119 AND CAN/ULC S101



**UNIT SEPARATION WALL @ FLOOR / CEILING DETAIL**  
NO SCALE

- FLOOR PLAN NOTES:**
- BUILDING SHALL BE SPRINKLERED PER NFPA13R.
  - SEE A120 FOR WALL TYPES.
  - SEE A120 FOR BATH TUB AT UNIT WALL DETAIL.
  - STAR HANDRAILS SHALL WITHSTAND 200# LOAD APPLIED IN ANY DIRECTION. BRACKETS SHALL BE 32" O.C. PROVIDE BLOCKING AS REQUIRED.
  - LOCATE ATTIC ACCESS ON SECOND FLOOR AS INDICATED. ATTIC ACCESS HATCHES SHALL BE 1 HR FIRE RATED UL LABELED ASSEMBLIES.
  - ALL SECOND FLOOR WATER HEATERS AND WASHERS SHALL BE PROVIDED WITH AN OVERFLOW PAN WITH DRAIN TO PREVENT DISCHARGE WATER FROM ENTERING UNIT.
  - PLUMBER TO INSTALL 1/2" FIRECODE GYP. BD. ON BOTTOM OF FLOOR SHEATHING BELOW ANY HOLE CUT OUT AT TUB OR SHOWER BEFORE RUNNING DRAIN LINE THRU FLOOR. FIRECALK OPENING.
  - ALL LUMBER USED IN THE CONSTRUCTION OF SECOND FLOOR DECKS SHALL BE TREATED DECAY RESISTANT LUMBER. VERIFY RAILINGS AND BALLUSTER MATERIALS WITH OWNER. RAILINGS TO WITHSTAND 200# LOAD APPLIED IN ANY DIRECTION. BALLUSTERS DESIGNED TO PREVENT PASSAGE OF OBJECT 4" IN DIAMETER.
  - SEE DETAIL AT TUB OR SHOWER. ASSURE 1 HOUR RATING AT WALLS AND SECOND FLOOR BY INSTALLING FIRE RATED GYP. BD. AT WALLS OR PLYWOOD SHEATHING PER UL L550.
  - NO OPENINGS AROUND PIPE, ELECTRIC BOXES, CONDUITS, DUCTS OR OTHER PENETRATING ITEMS THROUGH A FIRE-PROTECTIVE MEMBRANE (EITHER GYP. BD. OR SHEATHING) SHALL BE MORE THAN 1/2" IF MORE THAN 2". SEAL ALL OPENINGS WITH A FIRE-STOP PRODUCT OR DEVICE THAT IS TESTED AND LISTED BY AN APPROVED TESTING LAB UNDER ASTM E814. ELECTRICAL BOXES MUST BE CLASSIFIED FOR FIRE RESISTANCE OR "METALIC OUTLET BOXES THAT ARE LISTED BY AN APPROVED TESTING LABORATORY" BOXES MUST NOT BE MORE THAN 16 SQ.IN. DO NOT INSTALL ON OPPOSITE SIDES OF WALLS. SPACE BOXES 24" MIN. HORIZONTALLY ON OPPOSITE SIDES OF WALLS. TOTAL AGGREGATE OF ALL SUCH OPENINGS SHALL NOT EXCEED 100 SQ.IN.

- INSULATION CONTRACTOR SHALL SUPPLY A SIGNED AND DATED CERTIFICATION FOR THE INSULATION INSTALLED IN EACH ELEMENT, LISTING THE TYPES INSULATION INSTALLATIONS IN ROOF/CeilINGS, THE MANUFACTURER AND THE R-VALUE. FOR BLOWN INSULATION, THE INSTALLER SHALL ALSO PROVIDE THE INITIAL INSTALLED THICKNESS, THE SETTLED THICKNESS, THE COVERAGE AREA, AND THE NUMBER OF BAGS INSTALLED, POST THE FINAL CERTIFICATE ON SITE.**
- FIRE ALARM SYSTEM NOTES:**
- VERIFY ALL LOCAL AND STATE REQUIREMENTS
  - EACH LIVING UNIT SHALL HAVE A FIRE ALARM STATION LOCATED AT THE EXIT OF THE UNIT ON FIRST FLOOR AND AT THE TOP OF THE STAIRS AT SECOND FLOOR UNITS AND A HORN LOCATED IN HALL BY BEDROOMS.
  - ALL SMOKE DETECTORS SHALL BE DIRECTLY AND PERMANENTLY WIRED TO A PROPER UNSWITCHED CIRCUIT AND BE PROVIDED WITH A BACKUP POWER SOURCE.
  - ALL SMOKE DETECTORS SHALL BE LOCATED IN HALL, 6' BEDROOM DOOR AND IN EACH BEDROOM.
  - SMOKE DETECTORS SHALL BE LOCATED IN THE UTILITY ROOM AND SHALL BE WIRED TO AN UNSWITCHED CIRCUIT W/ EMERGENCY POWER BACKUP.
- ELECTRICAL NOTES:**
- ELECTRICAL DESIGNER / CONTRACTOR SHALL PROVIDE HIGH EFFICIENCY LAMPS IN A MINIMUM OF 50% OF THE FIXTURES PER IECC 404.1.



**1 ENLARGED SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**PLAN CONDITIONALLY APPROVED**

No Variation of this Plan is Permitted without the Approval of E-Plan Exam and the Municipal Building Inspection Department. See Plan Review Letter and/or Permit for additional conditions that must be addressed during construction prior to inspection.

Review Type: Building & Structure Review Only.

Approved by: *John J. Cunningham* Date: 09/15/2022

**LLOYD CARPENTER ARCHITECT**  
ARCHITECTURAL SERVICES  
2663 Maple Hills Drive  
Green Bay, Wisconsin 54313  
920.655.3829  
carp.arch@gmail.com

**REVISION/ISSUE**

No.	DATE	DESCRIPTION

PROPOSED 12 UNIT APARTMENT BUILDING FOR:  
**NICOLET LUMBER CO.**  
EAGLE RIVER, WISCONSIN

DESIGNED BY: LCA  
APPROVED BY: LCA  
DATE: 9-8-22  
SCALE: AS SHOWN  
JOB NUMBER

TITLE  
**ENLARGED SECOND FLR. PLAN**

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.  
CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

**A230**

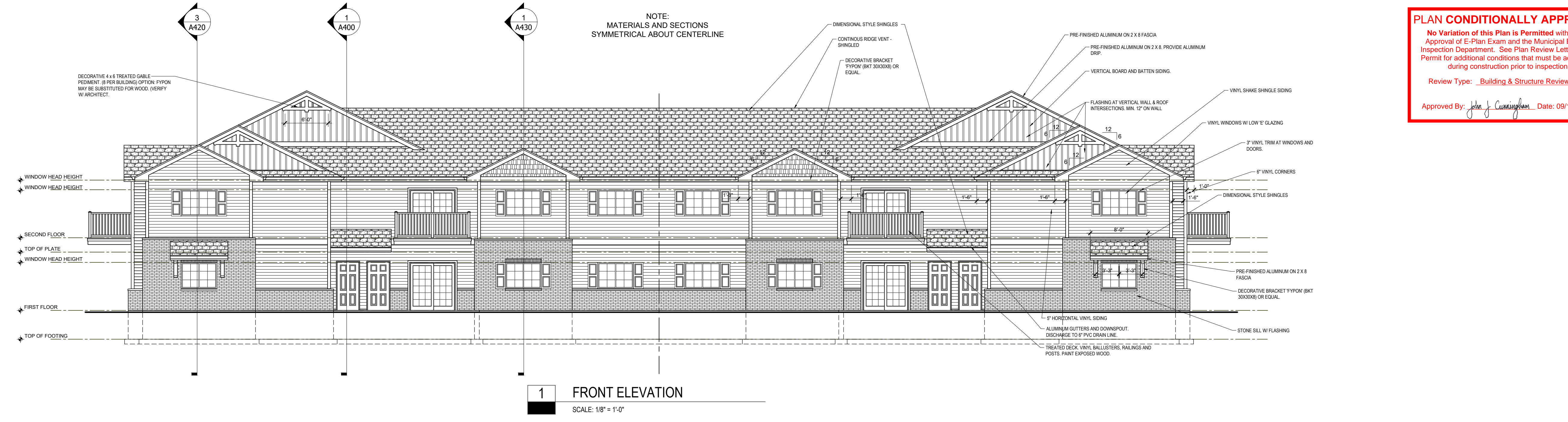
PLAN CONDITIONALLY APPROVED

No Variation of this Plan is Permitted without the Approval of E-Plan Exam and the Municipal Building Inspection Department. See Plan Review Letter and/or Permit for additional conditions that must be addressed during construction prior to inspection.  
 Review Type: Building & Structure Review Only  
 Approved By: *John J. Cunningham* Date: 09/15/2022

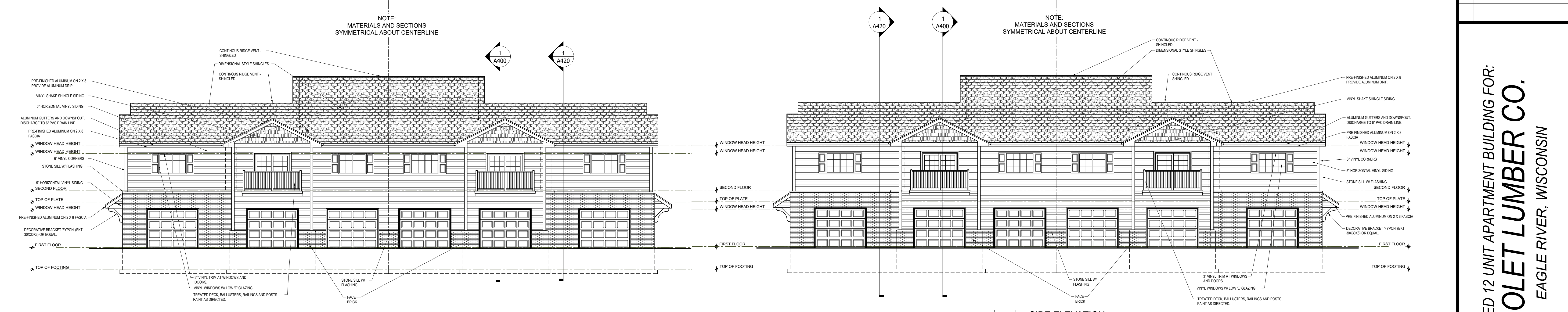
LLOYD CARPENTER  
 ARCHITECT  
 ARCHITECTURAL SERVICES  
 2663 Maple Hills Drive  
 Green Bay, Wisconsin 54313  
 920.655.3829  
 carp.arch@gmail.com

REVISION/ISSUE

No.	DATE	DESCRIPTION

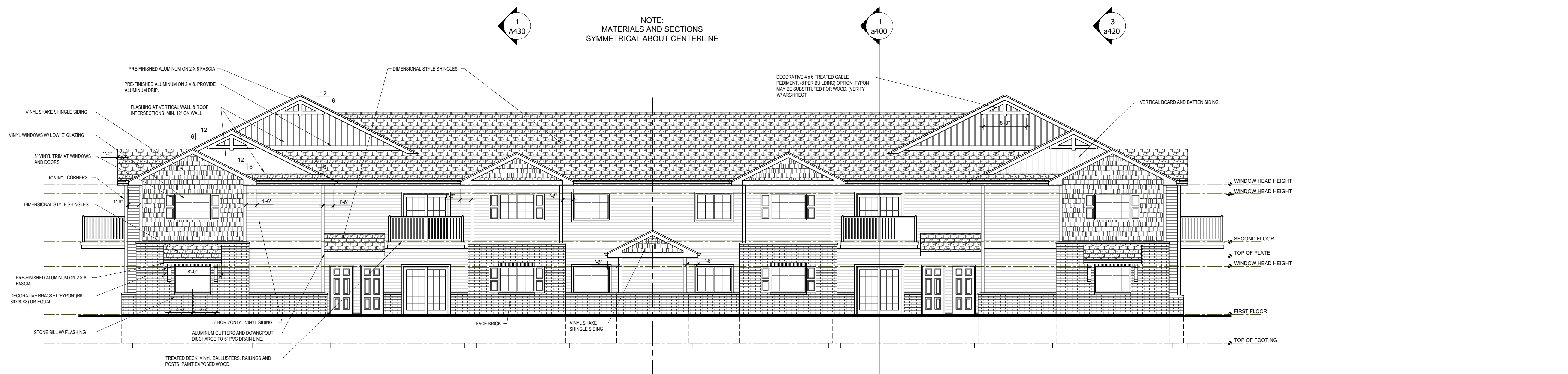


**1 FRONT ELEVATION**  
 SCALE: 1/8" = 1'-0"



**2 SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0"

**3 SIDE ELEVATION**  
 SCALE: 1/8" = 1'-0"



**4 REAR ELEVATION**  
 SCALE: 1/8" = 1'-0"

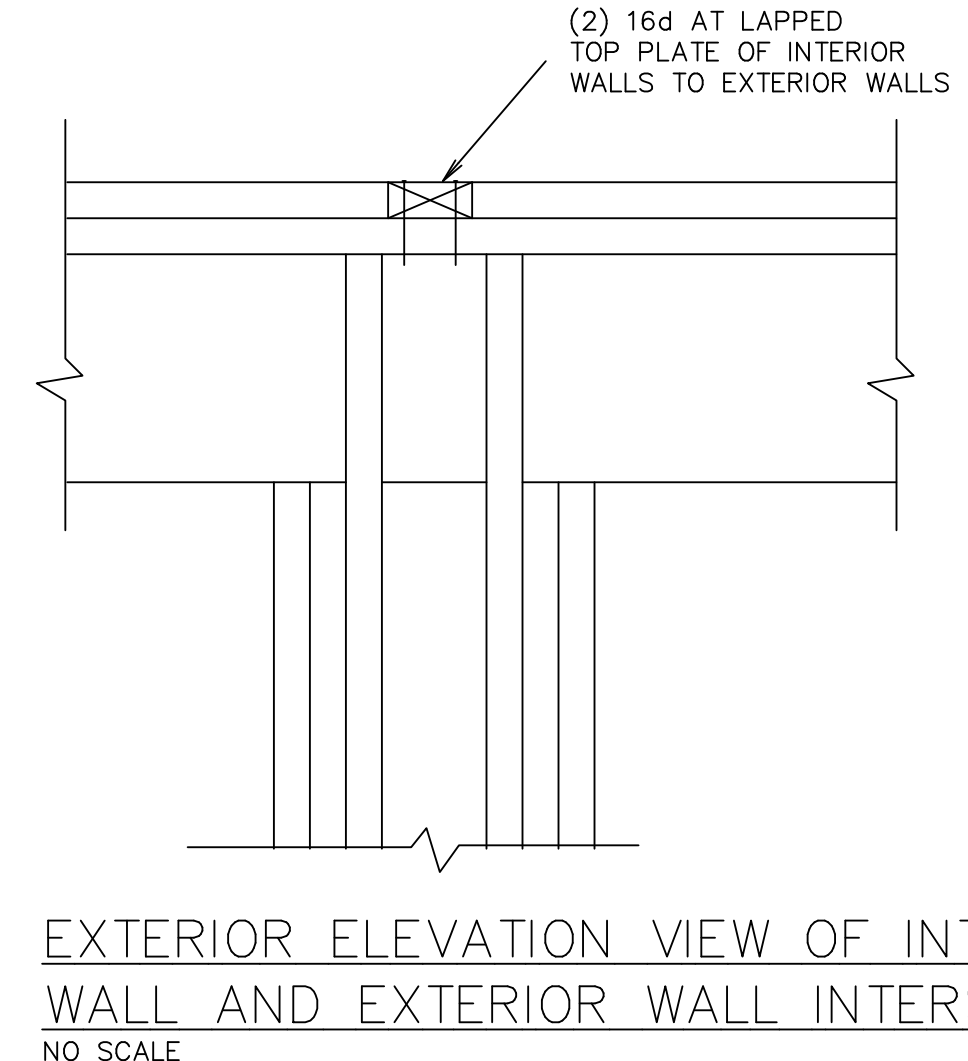
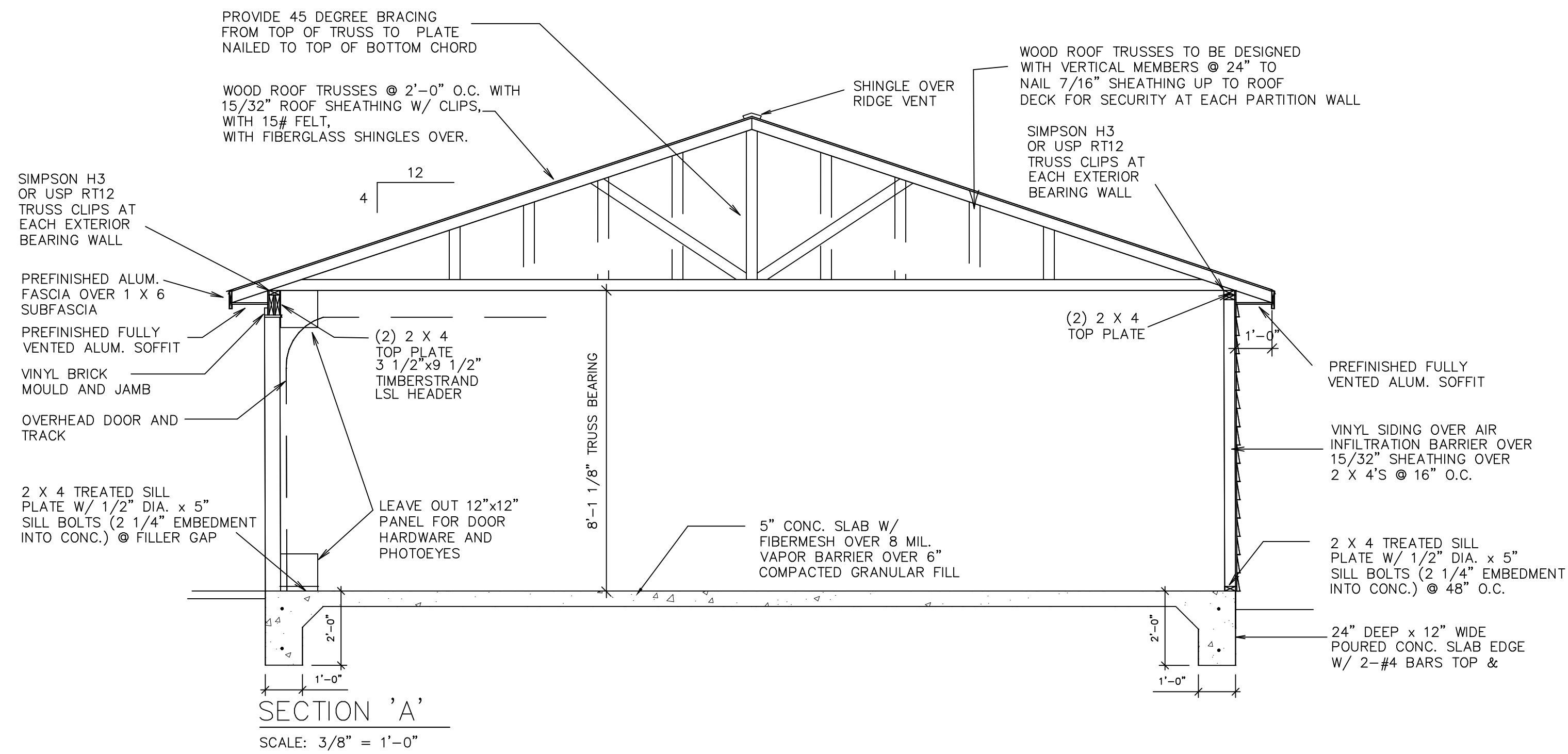
PROPOSED 12 UNIT APARTMENT BUILDING FOR:  
**NICOLET LUMBER CO.**  
 EAGLE RIVER, WISCONSIN

PROJECT:

DESIGNED BY:	LCA
APPROVED BY:	LCA
DATE:	8-30-22
SCALE:	AS SHOWN
JOB NUMBER:	

TITLE  
**BUILDING ELEVATIONS**  
WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

**A300**



NOTE: INCLUDE THE FOLLOWING NOT NOTED ON PLANS SECTIONS OR ELEVATIONS

EACH STALL SHALL HAVE THE FOLLOWING:  
 OVERHEAD DOOR OPENER WITH LIGHT AND BATTERY OPERATED FRAME MOUNTED ACCESS KEYPAD, PUSHBUTTON CONTROL PAD INSIDE STALL AND CAR REMOTE. DOOR IS RAISED PANEL UNINSULATED.

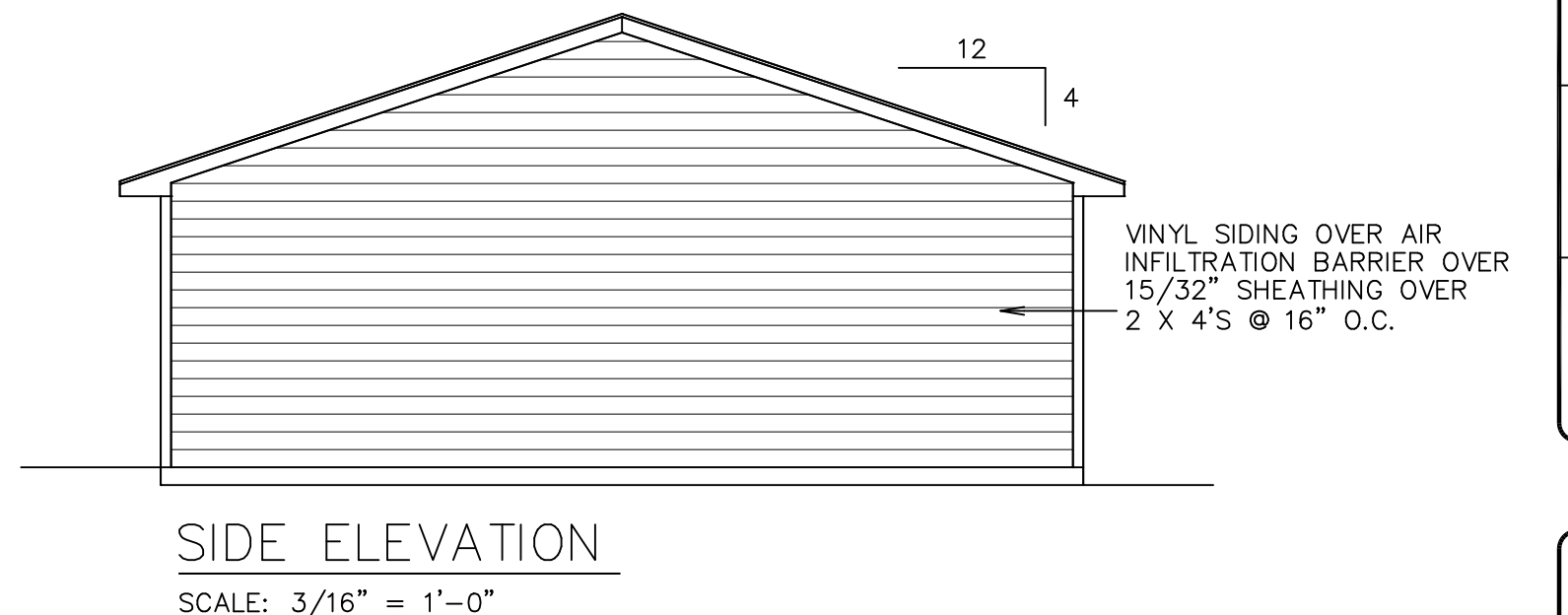
EACH STALL TO BE NUMBERED WITH A BLACK PLASTIC NUMBER AT DOOR JAMB BY KEYPAD

ONE PORCELAIN SOCKET LIGHT FIXTURE WITH 100 WATT BULB AND SWITCH AND A RECEPTACLE AT CEILING FOR DOOR OPENER

THE BUILDING SHALL HAVE THE FOLLOWING:  
 6" SEAMLESS ALUMINUM PREFINISHED GUTTERS AND TWO 3X4 DOWNSPOUTS EACH END AT THE FRONT AND BACK

ELECTRIC SERVICE PANEL TO BE 40 AMP

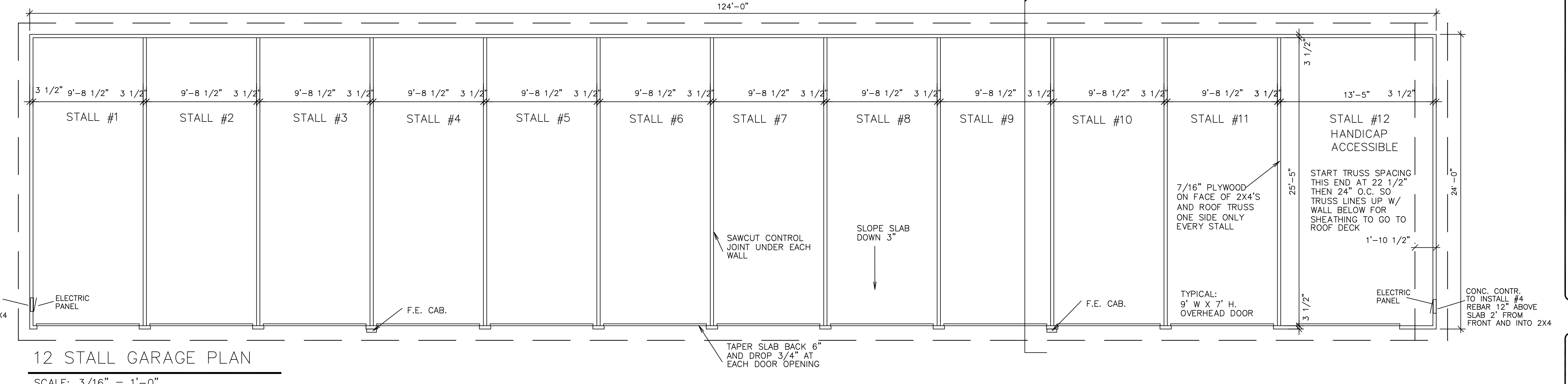
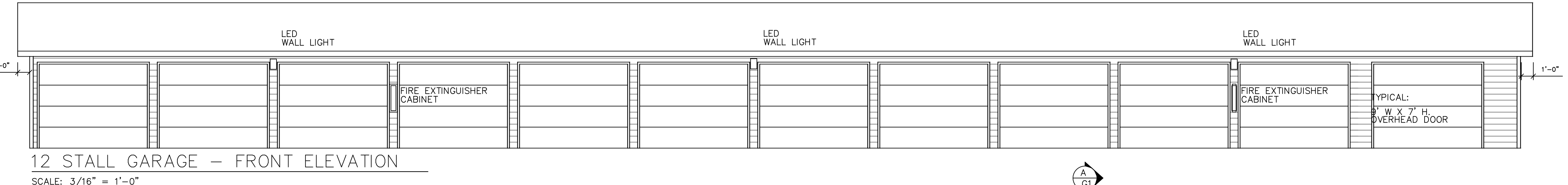
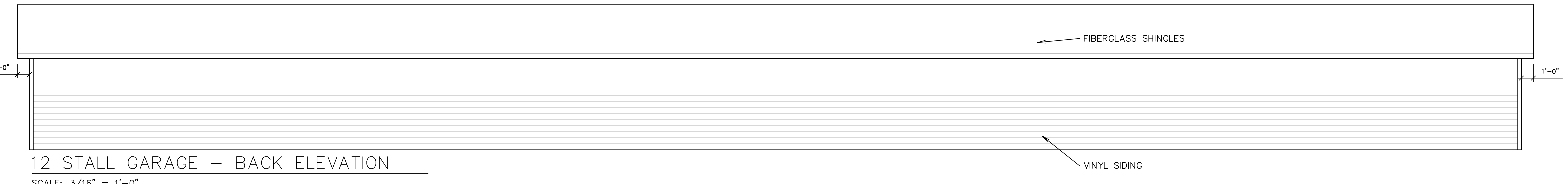
INSTALL THREE WALL LIGHTS MOUNTED BETWEEN DOORS ON SIDING A LED WALL PAK LIGHT CONTROLLED BY A PHOTOEYE



CAREFULLY REVIEW TRUSS CALC SHEETS FOR LATERAL BRACING LOCATIONS AND FOR BEARING BLOCKS IF LOAD EXCEEDS 2200 POUNDS FOR BEARING ON SPF TOP PLATES WOOD TRUSS SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO FABRICATION. TRUSS TO TRUSS CONNECTIONS SHALL BE DESIGNED BY THE TRUSS SUPPLIER AND SHALL BE CLEARLY SHOWN ON THE ERECTION PLANS. SHOP DRAWINGS SHALL BEAR THE STAMP OF AN ENGINEER LICENSED IN THE STATE OF WISCONSIN

PRE-ENGINEERED WOOD ROOF TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING CRITERIA:  
 DEAD LOADS:  
 TOP CHORD = 10 PSF  
 BOTTOM CHORD = 10 PSF  
 LIVE LOADS:  
 TOP CHORD = 46.2 PSF (BALANCED SNOW)  
 DEFLECTION (LIVE LOAD) - SPAN/240

SNOW LOADS: GROUND SNOW LOAD 60 PSF  
 EXPOSURE FACTOR Ce: 1.0  
 TEMP. FACTOR Ct: 1.0  
 IMPORTANCE FACTOR: 1.0



4227 PITCO ROAD  
 Green Bay, Wisconsin 54313  
 PHONE 920-865-1719  
 FAX 920-865-1720

**NEW**  
 ARCHITECTURE, INC.

JOB NO.	2017-06
DATE	11/6/17
REVISED	

RASPBERRY LANE APARTMENTS  
 FOR PREMIER REAL ESTATE MANAGEMENT  
 CITY OF EAGLE RIVER, WISCONSIN

12 STALL GARAGE  
 FLOOR PLAN, SECTION,  
 EXTERIOR ELEVATION



# Application for a Hearing before the City of Eagle River Plan Commission

Date Filed 8/12/24 Fee Paid \_\_\_\_\_ Petition # \_\_\_\_\_

**Applicant MUST provide the following information:**

Name Kristi Nelson / Northwest Counseling & Guidance Clinic Phone 920 309 0119

Mailing Address PO Box 309 Siren, WI 54872

Interest in the Property We would like to move outpatient children and adolescent therapy.

Name of Property Owner ATA Properties

Mailing Address PO Box 309 Siren, WI 54872

The above signed applicant does petition the City Council as follows:

## **Amend the Zoning Classification or Boundaries of a District**

Change may only be initiated by the City Council, Plan Commission or a petition by one or more of the owners or lessees of the property proposed to be changed.

Present Zoning Classification \_\_\_\_\_

Requested Zoning Classification \_\_\_\_\_

Applicant must provide the following information

- Legal description and address of the property in question.
- A sketch drawn to a scale of not less than 100 feet to the inch, showing area to be changed, its location, the location of the existing boundaries and the uses within 300 feet of the property proposed to be changed.
- Property owners names, mailing address of all property within 300 feet of the property in question.
- Present use of the property in question.
- Proposed use of the property in question.



# **Zoning Ordinance Amendment**

Change initiated, must be initiated by Zoning Administrator.

Requested Amendment to section: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

## **Conditional Use Permit**

Zoning Classification of Property Downtown Commerical

List the requested conditional use, we will be utilizing the space from 8 A to 4 P Monday through Friday to provide children and adolescents with outpatient day treatment programming. The address we are hoping to provide services at is 221 S 5th Street, Eagle River, WI 54521.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Applicant must provide the following information:

- A legal description and address of the property where the use will take place.
- The names and mailing addresses of the abutting property owners.
- Present uses of the abutting properties.
- A site plan of the property showing distances of structures to property lines, parking areas, landscaping, lighting, traffic line of sight visibilities and any other information which will assist the Plan Commission to make a decision.

Additional information may be requested by the Eagle River Plan Commission or the Eagle River City Council to evaluate your application. The lack of information may in itself be sufficient cause to deny a petition. Failure to provide the above required information may result in additional public hearings, which additional costs will be borne by the applicant.

The completed application must be submitted to the City Clerk's office no less than 30 days before the date of the Plan Commission meeting, 525 E. Maple Street, PO Box 1269, Eagle River, WI 54521.

***Applicant or Owner of the property or Agent shall appear before the Plan Commission.***

Dated this 12th day of August, 2024.

Respectfully submitted by Kristi Nelson



NOTICE OF PUBLIC HEARING  
CITY OF EAGLE RIVER PLANNING COMMISSION

Posted 8/14/2024

Northwest Counseling and Guidance Clinic is seeking a conditional use permit to establish a space from 8 am to 4 pm, Monday through Friday, to provide children and adolescents with outpatient day treatment programming at 221 S. Fifth Street, Eagle River, per Ordinance 106-443 (9): Uses permitted by conditional grant: Group care and family care facilities, nursery schools. The property is described as Sect. 33, T40N, R10E, LOT 9 BLK 2 OF J F HABRICH FIRST ADDN F14.

The City of Eagle River Planning Commission will hold a public hearing to review the request on **Thursday, September 5, 2024 at 5:00 p.m.** located at the Eagle River City Hall, 525 E. Maple Street, Eagle River WI 54521. Comments can be made at the public hearing or by mail to City Administrator, PO. Box 1269, Eagle River, WI 54521; by phone (715) 479-8682 x227 or email [rcginner@eagleriverwi.gov](mailto:rcginner@eagleriverwi.gov). Documents will be available for review at City Hall. PETITIONER, OR THEIR REPRESENTATIVE, SHALL BE PRESENT.

Advertisement – Conditional Use Permit, Northwest Counseling and Guidance Clinic

Publish twice beginning August 19, 2024 – Affidavit requested.

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JANICE M HUNTER  
216 S SIXTH ST  
EAGLE RIVER, WI 54521

MILDRED KIEFER  
2724 US HWY 51  
MCFARLAND, WI 53558

DONALD SCHARF TRUST  
PO BOX 835  
EAGLE RIVER, WI 54521

PATRICIA A BYRD  
PO BOX 146  
EAGLE RIVER, WI 54521

PETER SCHMUCKI  
PO BOX 1662  
EAGLE RIVER, WI 54521

NELSONS OF EAGLE RIVER INC  
PO BOX 1389  
EAGLE RIVER, WI 54521

COLYN BACON  
1720 WESCOTT DR  
RALEIGH, NC 27614

CHRISTOPHER B DHONDT  
235 SNOWY MOUNTAIN CIR #2  
GALLATIN GATEWAY, MT 59730

DEBRA A BEENKEN TRUST  
1410 CAPICH DR  
EAGLE RIVER, WI 54521

JOHN G RUTKOWSKI  
5737 SNOWBALL LN  
EAGLE RIVER, WI 54521

PAUL R HARDESTY  
313 S FIFTH ST  
EAGLE RIVER, WI 54521

ERNEST H ANDERSON  
1515 CANDLELIGHT CT  
OSHKOSH, WI 54903

BONNIE ZEHNER  
733 GREEN TREE RD  
WEST BEND, WI 53090

NELSONS OF EAGLE RIVER INC  
PO BOX 1389  
EAGLE RIVER, WI 54521

GEORGE W LANGLEY TRUST  
2261 BALSAM LANE  
EAGLE RIVER, WI 54521

YELTON 5 LLC  
9246 GOLF VIEW DR  
MINOCQUA, WI 54548

SMUGGLERS REAL PROPERTY LLC  
PO BOX 682  
EAGLE RIVER, WI 54521

RALPH J SHEWMAKE LE  
1330 DOLLAR LAKE RD  
EAGLE RIVER, WI 54521

ABIGAIL V BURKETT  
329 S NINTH ST  
EAGLE RIVER, WI 54521

COLYN BACON  
1720 WESCOTT DR  
RALEIGH, NC 27614

NELSONS OF EAGLE RIVER INC  
PO BOX 1389  
EAGLE RIVER, WI 54521

TIMOTHY P GARASHA  
PO BOX 1764  
EAGLE RIVER, WI 54521

VILAS PROFESSIONAL LLC  
PROPERTIES  
LAND O LAKES, WI 54540

VICTOR M BAUER  
PO BOX 524  
EAGLE RIVER, WI 54521

LISA A BODAMER  
PO BOX 1761  
EAGLE RIVER, WI 54521

JACK S RICHTER  
PO BOX 834  
EAGLE RIVER, WI 54521

RANDALL H SMITS & ANN C SMITS TRUST  
1246 CATFISH LAKE RD  
EAGLE RIVER, WI 54521

ANDERSEN BUILT CONSTRUCTION LLC  
723 E PINE ST  
EAGLE RIVER, WI 54521

BARBARA A GURSKA  
222 S SIXTH ST  
EAGLE RIVER, WI 54521

JOHN D SCOTT  
500 THAMES PRKWY  
PARK RIDGE, IL 60068

RUSSELL A OBERG  
3716 CHAIN O LAKES RD  
EAGLE RIVER, WI 54521

LANGLEY TRUST  
PO BOX 725  
EAGLE RIVER, WI 54521

GEORGE W LANGLEY TRUST  
PO BOX 725  
EAGLE RIVER, WI 54521

PETER J BALTUS TRUST  
PO BOX 816  
THREE LAKES, WI 54562

SANDRA LYNN ROHRBACHER  
C/O SANDRA HULCE  
EAGLE RIVER, WI 54521

VICTOR BAUER  
PO BOX 524  
EAGLE RIVER, WI 54521

BROOKE E BARTHOLOMEW  
715 WALL ST  
EAGLE RIVER, WI 54521

MOONLIGHT HOLDINGS LLC  
E19636 HEBERT RD  
WATERSMEET, MI 49969

RONALD C JESSE JR  
310 S SIXTH ST  
EAGLE RIVER, WI 54521

CITY OF  
**EAGLE RIVER**  
*Wisconsin*

**Application for a Hearing before Planning Commission**

**Applicant MUST provide the following information:**

Name Jon T. Keckelsen Jon T. Keckelsen Phone 414-651-6069

Mailing Address P.O. Box 1 P.O. Box 1, Eagle River

Interest in the Property owner 1078 E. Wall St.  
sold@JonKeckelsen.com

Name of Property Owner Jon T. Keckelsen

Mailing Address P.O. Box 1, Eagle River, WI 54521

The above signed applicant does petition the City Council as follows:

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Requested Amendment to section: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Conditional Use Permit**

Zoning Classification of Property Highway Commercial

List the requested conditional use, 106-473 (10) Shipping container  
20' - temporary (up to 1 year)  
\_\_\_\_\_  
\_\_\_\_\_

Applicant must provide the following information:

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*Applicant or Owner of the property or Agent shall appear before the Planning Commission.*

Dated this 1 day of April, 2004

Respectfully submitted by [Signature]

<i>For Office Use Only:</i>			
Permit distribution:	<input type="checkbox"/> Treasurer (w/check)	<input type="checkbox"/> File	<input type="checkbox"/> Planning Commission
Payment: \$	<input type="checkbox"/> Cash	<input type="checkbox"/> Check #	Date: _____ Admin: _____ Date: _____



NOTICE OF PUBLIC HEARING  
CITY OF EAGLE RIVER PLANNING COMMISSION

Posted 8/14/2024

Jon T. Keckeisen is seeking a conditional use permit to place one 20' storage container at 1078 E. Wall Street for no more than one year, per Ordinance 106-473 (10): One single shipping container, painted a single color, all advertising removed, subject to existing accessory structure set-backs. The property is described as NW-NW, Sect 34, T40N,R10E, PRT NW NW.

The City of Eagle River Planning Commission will hold a public hearing to review the request on **Thursday, September 5, 2024 at 5:00 p.m.** located at the Eagle River City Hall, 525 E. Maple Street, Eagle River WI 54521. Comments can be made at the public hearing or by mail to City Administrator, PO. Box 1269, Eagle River, WI 54521; by phone (715) 479-8682 x227 or email [rcginner@eagleriverwi.gov](mailto:rcginner@eagleriverwi.gov). Documents will be available for review at City Hall. PETITIONER, OR THEIR REPRESENTATIVE, SHALL BE PRESENT.



Advertisement – Conditional Use Permit, Jon T Keckeisen

Publish twice beginning August 19, 2024 – Affidavit requested

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INGE R KNAUZ TRUST  
PO BOX 819  
EAGLE RIVER, WI 54521

RJ DESIGNS LLC  
PO BOX 1631  
EAGLE RIVER, WI 54521

JOHN 21:6 LLC  
1717 N BRISTOL ST  
SUN PRAIRIE, WI 53590

INGE R KNAUZ TRUST  
PO BOX 819  
EAGLE RIVER, WI 54521

EAGLE RIVER CEMETERY ASSOC  
EAGLE RIVER, WI 54521

JENNY MERTEN  
4461 WALL ST  
EAGLE RIVER, WI 54521

KAP HOLDINGS LLC  
PO BOX 939  
EAGLE RIVER, WI 54521

ST PETERS CHURCH  
EAGLE RIVER, WI 54521



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Melissa Hopkins Tina Aeillo  
Terry Lyon Kevin Eckes



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Kim Emerson Kathy Schmitz  
Kim Adamovich

**Executive Director:**

Karen Margelofsky, Cell: (715) 522-0900  
karen@eagleriverrevitalization.org

Proposal for Expansion Project at Eagle River Farmers Market

To: Eagle River Planning Commission

From: Eagle River Revitalization Program – Karen Margelofsky, Executive Director

Date: August 29, 2024

Subject: Proposal for Expansion Project at Eagle River Farmers Market

**Introduction**

The Eagle River Farmers Market has become a vital community hub, providing a space for local farmers, artisans, and food vendors to engage with residents and visitors alike. To continue supporting the growth and success of the market, we propose an expansion project aimed at enhancing the infrastructure and facilities available at the site. This project seeks to improve the market's functionality, increase vendor capacity, and ensure a safe and welcoming environment for all participants.

**Project Overview**

The proposed expansion includes the following key elements:

**1. Electrical Service Installation:**

- **Primary Electrical Panel:** Install a new electrical service with a main panel to be located on the backside of the current market sign. This panel will serve as the central hub for the expanded electrical infrastructure.
- **Additional Panel Boards:**
  - A weather-tight panel board with food truck services at the north end of the market, near the fire hydrant.
  - Another food truck hookup between the current sign and the north panel.
  - A regular electrical hookup between the sign and the existing shed.
  - Subpanel located in new proposed shed.
  - Traditional weather-tight electrical hookups on both sides of the existing shed.
  - A hookup near the south hydrant for additional vendor or market needs.

**- Construction of a New Permanent Shed:**

- **Dimensions and Location:** A new permanent 10' x 20' shed with a 5' enclosure on one side to be constructed at the end of Ohio Street within the Farmers Market site.
- **Subpanel Installation:** The shed will be equipped with a subpanel to manage electrical needs.
- **Water Hookup:** A water hookup will be installed within the shed for sanitation and operational purposes.
- **Enclosed Area for Utilities:** The shed will include an enclosed area designed to house a porta potty and a dumpster, ensuring cleanliness and convenience for both vendors and visitors.

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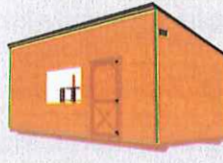
South side/front



Facing the Market/East



North side/front



Back/Road side



**Project Justification**

The expansion of the electrical infrastructure is crucial to accommodate the increasing demand from food trucks and other vendors requiring reliable power sources. The strategic placement of electrical hookups and panels will allow for efficient vendor setup and operation, reducing potential hazards associated with temporary power solutions.

The construction of a new shed, equipped with a subpanel and water hookup, will provide additional storage and operational space for market activities. The enclosed area for a porta potty and dumpster will enhance the overall hygiene and aesthetic appeal of the market, addressing both vendor and visitor needs.

**Benefits to the Community**

- **Enhanced Vendor Capacity:** The expanded infrastructure will support a greater number of vendors, particularly food trucks, which are a popular attraction at the market.
- **Improved Safety and Convenience:** Permanent electrical hookups and water services will minimize the need for temporary and potentially unsafe setups.
- **Increased Site Attractiveness:** The new shed and enclosed utility area will contribute to a more organized and professional market environment, attracting more users and potential winter season use with the SnoEagles Club.
- **Sustainable Growth:** The improvements will position the Eagle River Farmers Market for continued growth, making it a more attractive venue for regional events and markets.

A 501c3 non-profit organization, FEIN 39-1970671  
525 E. Maple Street, PO Box 2302 ~ Eagle River, WI 54521  
Office: (715) 477-0645 | EagleRiverRevitalization.org

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Karen Margelofsky, Cell: (715) 522-0900  
karen@eagleriverrevitalization.org

**Conclusion**

This expansion project is designed to meet the evolving needs of the Eagle River Farmers Market while ensuring safety, convenience, and sustainability. We respectfully request the Eagle River Planning Commission's approval to proceed with the proposed enhancements, which we believe will significantly benefit both the market and the broader community.

Thank you for your consideration.

Sincerely,

Karen Margelofsky  
Executive Director/Market Manager  
Eagle River Revitalization Program, Inc.  
715-477-0645